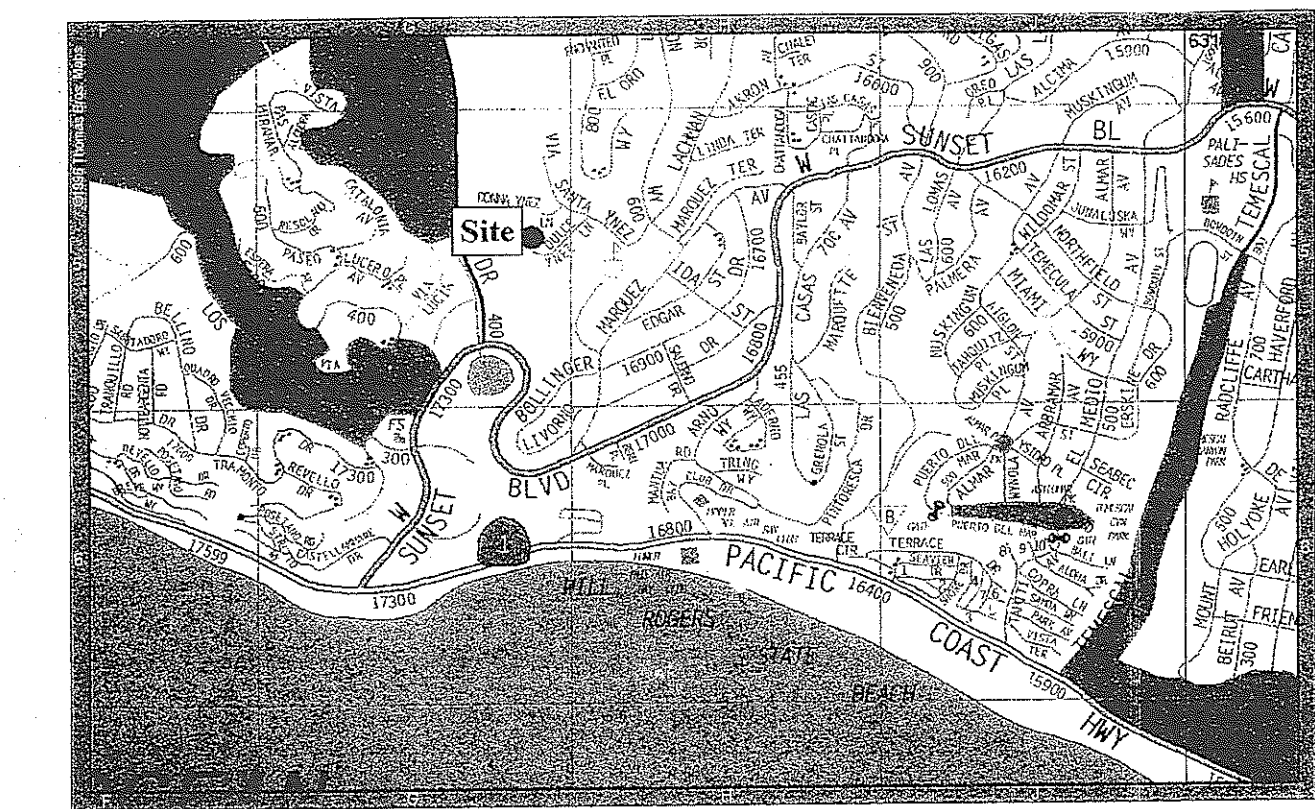


NEW 2-STORY SINGLE FAMILY RESIDENCE WITH BASEMENT AND ATTACHED GARAGE

For: DAVID and ILLANA BEHREND

16943 DULCE YNEZ LANE PACIFIC PALISADES, CALIF. 90272



VICINITY MAP



City of Los Angeles
Department of City Planning
10/19/2005
PARCEL PROFILE REPORT

PROPERTY ADDRESSES
16943 W DULCE YNEZ LANE
90272
RECENT ACTIVITY
None
CASE NUMBERS
CPC-2000-4048-CA
ENV-2001-846-ND

Address/Legal Information
PIN Number: 129B121 840
Area (Calculated): 9,365.9 (sq ft)
PAGE 630 - GRID GS
4419010054
Thomas Brothers Grid:
Assessor Parcel Number:
TR 25553
M B 683-7/8
Map Reference:
Block:
13
Loc:
None
Adj. (Lot Cut Reference):
Map Sheet:
129B121

Planning and Zoning Information
Special Notes:
Zoning:
RE15-1-H
Zoning Information (Z):
General Plan Land Use:
Low Residential
Specific Plan Area:
None
Special Land Use / Zoning:
None
Design Review Board:
No
Historic Preservation Overlay Zone:
None
Historical Cultural Monument:
None
POD - Pedestrian Oriented Districts:
CDD - Community Design Overlay:
None
Streetscape:
No
Sign District:
None
Adaptive Reuse Incentive Area:
35% Density Bonus:
Not Eligible
CDA - Community Redevelopment Agency:
No
Central City Parking:
No
Downtown Parking:
No
Building Line:
None
500 Ft School Zone:
No

Additional Information
Airport Hazard:
None
Coastal Zone:
None
Calvo Exclusion Area:
Coastal Zone Commission Authority:
Area not Mapped
Flood Hazard:
Very High Fire Hazard Severity Zone:
Yes
Fire District No. 1:
No
Fire District No. 2:
No
Flood Zone:
None
Hazardous Waste / Border Zone Properties:
None
Methane Hazard Sites:
None
High Wind Velocity Areas:
No
Hillside Grading:
No
Oil Wells:
No
Alquist-Priolo Fault Zone:
Yes
Distance to Nearest Fault:
Within Fault Zone
Landslide:
Yes
Liquefaction:
No

Assessor Information
Assessor Parcel Number:
4419018054
L.A. County Ownership Info:
BEHREND, ILLANA TR
Parcel Area (Approximate):
8,102.2 (sq ft)
Use Code:
0100 - Single Residence
Building Class:
DBSA

City of Los Angeles
Department of Building and Safety
16943 Dulce Ynez
Prevailing Setback Calculations
1 of 1

Calculate	No.	Lot	Frontage	Setback	No.	Lot	Frontage	Setback	No.	Lot	Frontage	Setback
	1	9	27.5	20.75	2	10	15	38.5	3	14	131.0	19.5
	4	16	96.87	7.66	5	11	65	13.25	6	12	70	2.25
	7	13	55.65	3.16	8				9			
	10				11				12			
	13				14				15			
	16				17				18			
	19				20				21			
	22				23				24			
	25				26				27			
	28				29				30			
	31				32				33			
	34				35				36			
	37				38				39			
	40				41				42			
	43				44				45			

Prevailing Setback=4.36 ft

Total no of lots entered=7
Total frontage entered=462.00 ft
40% of Total frontage entered=184.80 ft
No of lots used in the calculations=3
Setback range used=2.25 - 12.25 ft
Total frontage used in the calculations=222.52 ft
No of trials=1

Lots Used

Lot	Frontage	Setback
16	96.87	7.66
12	70	2.25
13	55.65	3.16

View Calculations Detail

LEGAL DESCRIPTION:

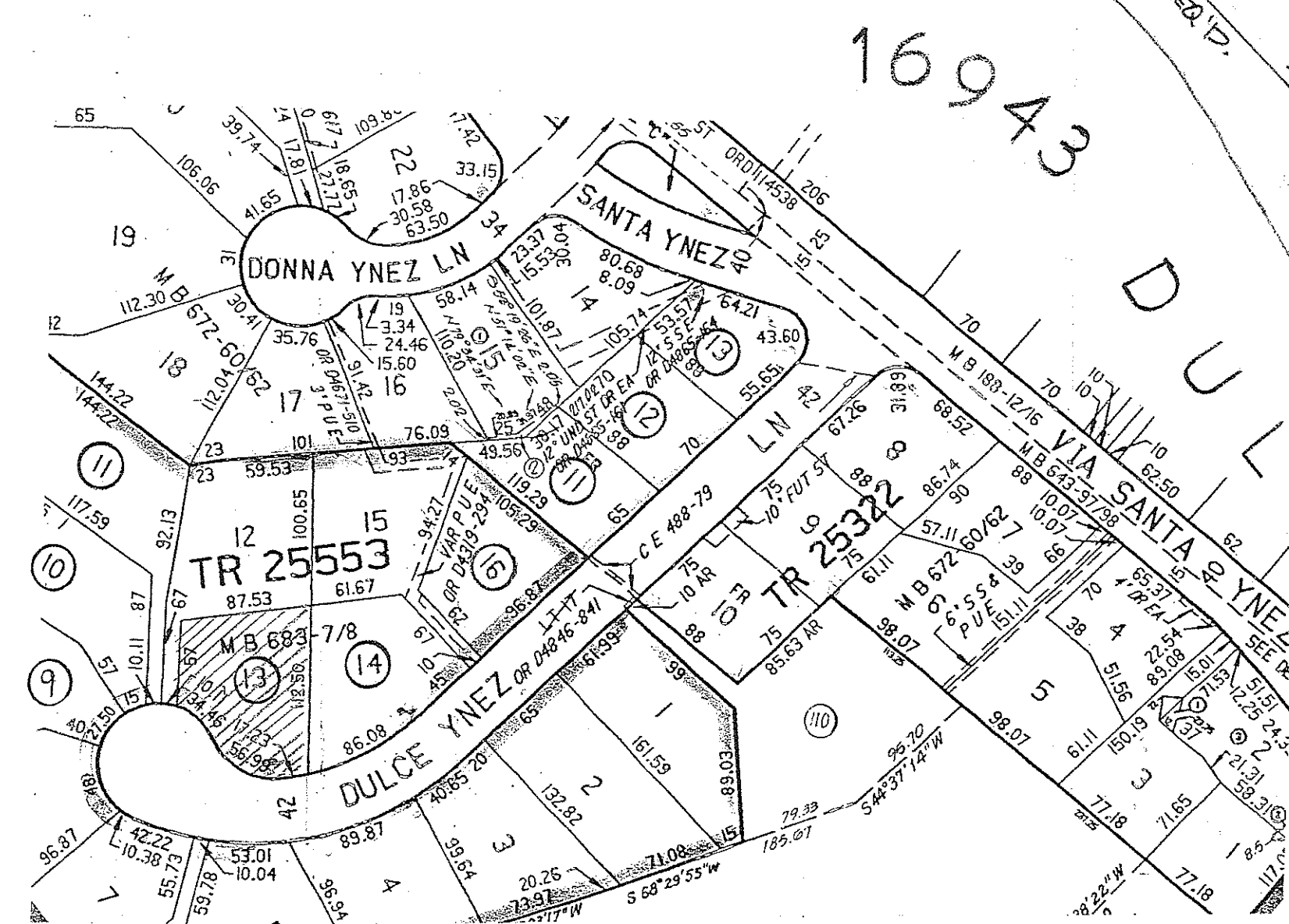
Lot 13 of Tract 25553, in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in book 683, page(s) 7 and 8 of Maps, in the Office of the County Recorder of said County.

INDEX of DRAWINGS:

- TITLE SHEET / SITE PLAN
- GENERAL NOTES
- SOIL APPROVAL LETTER, GPI, DPI
- SURVEY
- TITLE 24
- TITLE 24 cont.
- DOOR and WINDOW SCHEDULE

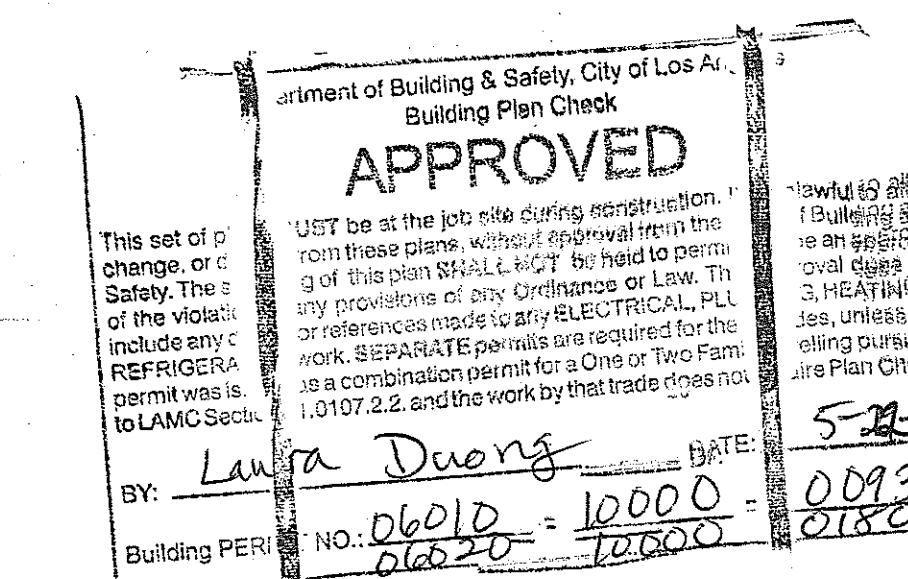
- BASEMENT FLOOR PLAN
- 1ST FLOOR PLAN
- 2ND FLOOR PLAN
- FRONT and REAR ELEVATIONS
- SIDE ELEVATIONS
- ROOF PLAN
- SECTIONS: A and B
- SECTIONS: C and D
- SECTIONS: E and F
- SECTIONS: G and H
- SECTION: I

- STRUCTURAL NOTES
- BASEMENT FOUNDATION PLAN
- 1ST FLOOR FRAMING & GARAGE FOUNDATION PLAN
- 2ND FLOOR FRAMING PLAN
- ROOF FRAMING PLAN
- STRUCTURAL DETAILS
- STRUCTURAL DETAILS
- STRUCTURAL DETAILS
- POOL GENERAL NOTES & PLANS
- DETAILS / SECTIONS



PROJECT SUMMARY

LOT AREA	#	8,385.9
EXISTING BUILDING TO BE DEMOLISHED	#	2,400
ZONING		RE-1-H
OCCUPANCY		R3/U1
CONSTRUCTION		TYPE V-H
BASEMENT	#	2,567
1 ST FLOOR	#	2,142
2 ND FLOOR	#	2,633
TOTAL:	#	7,342
GARAGE	#	463
LOT COVERAGE		25.54%



BY: *Laura Duong*
DATE: 10/19/05
NO. 06210-10000-0033
06210-10000-0033
06210-10000-0033

SITE PLAN

1/8"=1'-0"

Project Designer:
Illana Behrend & John Owzarek
16943 Dulce Ynez Lane,
Pacific Palisades, Calif. 90272
310-498-0468; 310-413-4469

SOIL REPORT APPROVAL LETTER

March 29, 2005
LOG # 47275
SOILS FILE - 2
LAN

Ilana Behrend
2312 Lyric Avenue
Los Angeles, CA 90027

TRACT: 25553
LOT: 13
LOCATION: 16943 Dulce Ynez Lane

CURRENT REFERENCE REPORT/LETTERS	REPORT NO.	DATE(S) OF DOCUMENT	PREPARED BY
Soil Report	5BEH038	03/01/2005	Sassan Geosciences, Inc.
Soil Report	5BEH038	03/01/2005	Sassan Geosciences, Inc.

The referenced reports providing recommendations for the proposed single family residence have been reviewed by the Grading Division of the Department of Building and Safety. According to the report dated 03/01/2005, the project will consist of two-story structure constructed over a full basement and a swimming pool.

The site soils consist of up to 2 feet of uncertified fill underlain by natural sand. In turn, is underlain by bedrock. Grading for the project will consist of excavating the site for the proposed basement. The excavations will be approximately 10 feet in vertical height. Shoring may be required for the safe excavation. The report does not provide recommendations for the shoring design, therefore shoring is not approved at this time. The proposed foundation will be in bedrock.

The report dated 03/22/2005 states, that the site is flat, there are no slopes within the property and the distance from the property lines to the nearest slopes is approximately 100 feet. Based on the above, the consultants did not evaluate seismically-induced landsliding potential. This satisfies the requirement of State of California Public Resources Code, Section 2690 et. seq. (Seismic Hazard Mapping Act).

The reports are acceptable, provided the following conditions are complied with during site development:

MAY 16 2005

(Note: Numbers in parenthesis () refer to applicable sections of the 2002 City of LA Building Code. P/B/C numbers refer to the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

- The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans which clearly indicates that the soils engineer has reviewed the plans prepared by the design engineer and that the plans included the recommendations contained in his report.
- All recommendations of the reports which are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
- A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans. Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit. (7006.1)
- A grading permit shall be obtained. (106.1.2)
- All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density (D1556). Placement of gravel in lieu of compacted fill is allowed only if complying with Section 91.7011.3 of the Code.(7011.3)
- Adequate temporary erosion control devices acceptable to the Department, and if applicable the Department of Public Works, shall be provided and maintained during the rainy season. (7013.12)
- Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Inspection Section of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cu yd. (7007.1) 1828 Sawtelle Blvd., 3rd Floor, West LA (310) 575-8625
- The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the State Construction Safety Orders enforced by the State Division of Industrial Safety. (3301.1)
- A structure shall be considered surcharging an excavation if the structure is located within a horizontal distance from the top of the excavation equal to the depth of the excavation. (3301.2.3.2)
- A supplemental report shall be submitted to the Grading Division of the Department containing recommendations for shoring, underpinning, and sequence of construction in

- the event that any excavation would remove lateral support to the public way or adjacent structures. A plot plan and cross-section(s) showing the construction type, number of stories, and location of the structures adjacent to the excavation shall be part of the excavation plans. (7006.2)
- Prior to the issuance of any permit which authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation. (3301.2.1)
- The applicant is advised that recommendations contained herein for excavation banks may also be subject to the regulations of the Department of Public Works, Bureau of Engineering, B-Permit Section. (3301) 201 N. Figueroa Street Room 770, LA (213) 977-6063
- Unsurcharged temporary excavation may be cut vertical up to 5 feet. For excavations over 5 feet, the lower 5 feet may be cut vertically and the portion of the excavation above 5 feet shall be trimmed back at a gradient not exceeding 1:1 (horizontal to vertical), as recommended.
- Footings shall derive entire support from bedrock, as recommended.
- Slabs placed on approved compacted fill shall be at least 3 1/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced maximum of 16 inches on center each way. Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 3 1/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced maximum of 16 inches on center each way.
- The LABC Soil Type underlying the site is S₂, and the minimum horizontal distance to known seismic sources shall be in accordance with the "Maps of Known Active Fault Near Source Zones" published by ICBO. (1636A)
- Retaining walls up to 12 feet in height and with a level backfill shall be designed for a minimum EFP of 35 PCF, as specified on page 5 of the report dated 03/01/2005.
- All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted to the street in an acceptable manner and in a non-erosive device. (7013.11)
- All retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soil report shall be incorporated into the foundation plan which shall be reviewed and approved by the soils engineer of record. (7015.5 & 108.9)

- Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector. (7015.5 & 108.9)
- Basement walls and slab shall be waterproofed with an L.A. City approved "Below-grade waterproofing" material with a research report number.
- Prefabricated drainage composites (Madrain) (Geotextiles) may be only used in addition to traditionally accepted methods of draining retained earth.
- The proposed swimming pool shall be designed for a freestanding condition.
- Pool deck drainage shall be collected and conducted to an approved location via a non-erosive device. (7013.10)
- The dwelling shall be connected to the public sewer system. (P BC 2001-27).
- All roof and pad drainage shall be conducted to the street in an acceptable manner. (7013.10)
- Soil engineer shall inspect the excavations for the footings to determine that they are founded in the recommended strata before calling the Grading Division of the Department for footing inspection. (Code Section 91.7008)
- Prior to the pouring of concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. He shall post a notice on the job site for the LADBS Building Inspector and the Contractor stating that the work so inspected meets the conditions of the report, but that no concrete shall be poured until the City Building Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
- Prior to excavation, an initial inspection shall be called with LADBS Inspector at which time sequence of shoring, protection fences and dust and traffic control will be scheduled.
- Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. He shall post a notice on the job site for the City Grading Inspector and the Contractor stating that the soil inspected meets the conditions of the report, but that no fill shall be placed until the LADBS Grading Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the permit shall be included. (7011.3)

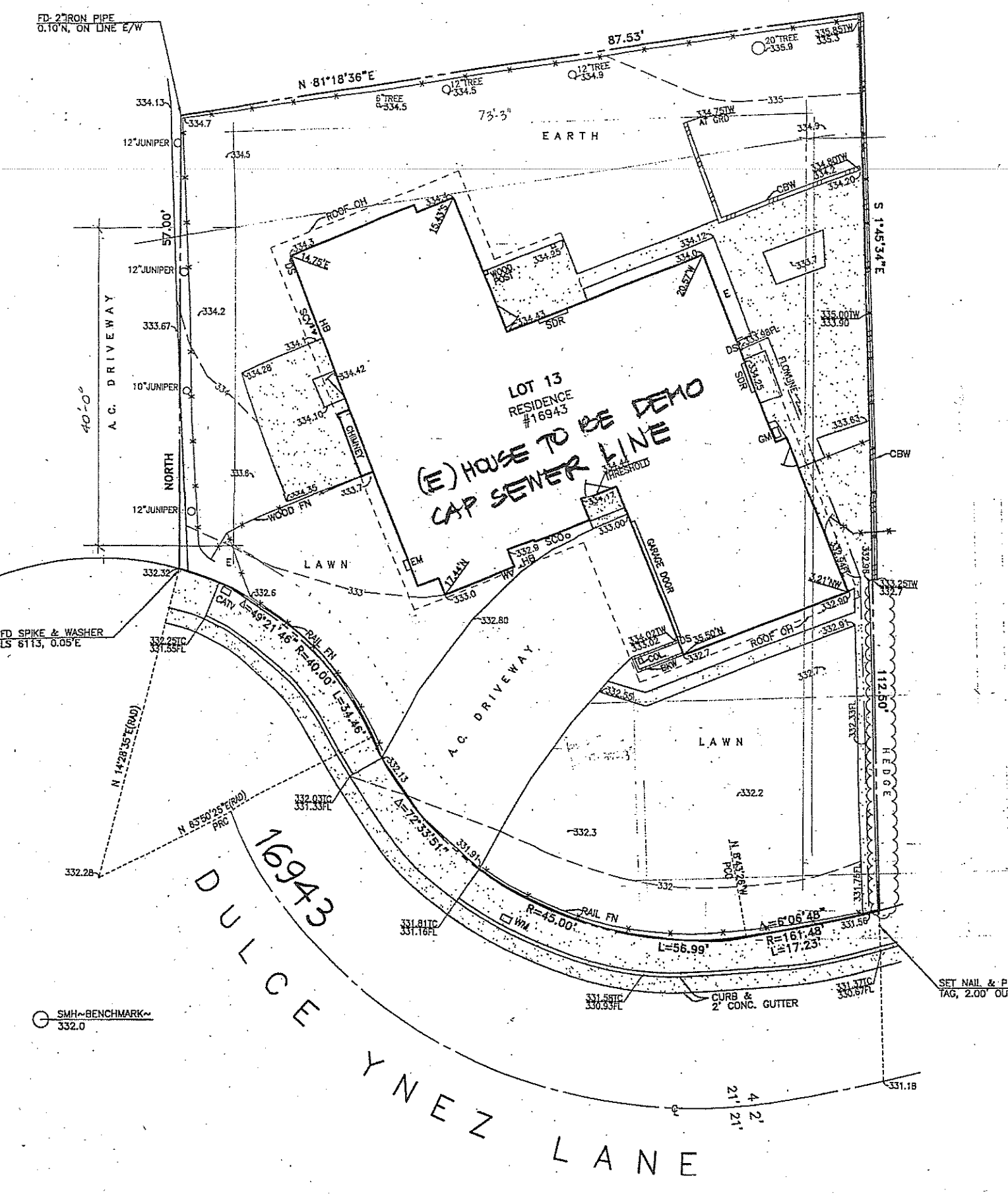
31. No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

32. If compacted fill is to support the slab-on-grade, no slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

ANDRZEJ T. SZPIKOWSKI
Geotechnical Engineer II

ATS/ats
47275
(213) 482-0480

cc: Sassan Geosciences, Inc
WLA District Office



Edit Checklist Print All Exit

Pre-Demolition Checklist

DEPARTMENT OF BUILDING AND SAFETY
Job Address: 16943 W Dulce Ynez Lane Type: Residential (BMI)
Council District: 11A Plan Check No.: L14147
Census Tract: 2626.02 # of Bldgs to Demo: 1
Description of Work: Demolish (E) House & Sewer Cap; Clear Lot

Inspector / Phone: David Chan (310) 575-8965
Inspection Date: 02/08/2006
Inspection Status: Complete as of 02/08/2006

PLOT PLAN
OK as provided

SEWER INFORMATION:	Public
SEWER CAP:	Required
PEDESTRIAN PROTECTION:	Fence

BUILDING INFORMATION	Building #1	Building #2	Building #3	Building #4
Basement	Unknown			
Ext Wall	Stucco			
Construction				
No. of Stories	1			
Height (ft)				
Type of Construction	V			

ADDITIONAL COMMENTS

http://10.8.3.38/dpi.nsf/aae407295dbb4234882567e9000a99/99304f6d4448065882571... 2/10/2006

City of Los Angeles - Department of Building and Safety
GRADING PRE-INSPECTION REPORT

Address: 16943 W Dulce Ynez Ln. Grad Dist: STGRDW14 Log No.: WL04787 Permit Application:
CD: 11 Property Type: Residential
Purpose: NEW 2 STORY SFD WITH BASEMENT AND SWIMMING POOL, NEW RETAINING WALL AT FRONT OF THE LOT. GFI Fees Paid: Yes Posting Date: 02/02/2006
GFI Fees Paid: Yes Posting Date: Yes

TRACT: 25553
BLOCK: - LOT(S): 13 ARB: COUNTY REF. NO.:

INSPECTORS REPORT OF FIELD CONDITIONS	Bearing Value: PER SOILS REPORT
Approved Graded Lot: No	
Fill over 100 feet: No	
Slope of Surface:	Natural Soil Classification Per Table 18.1.A
Cut: ° Height: ft	Expansive Soil: Yes
Fill: ° Height: ft	Slide Area: No
Natural: FLAT ° Height: ft	PSDS Sized Per Code: No
Sewer Available:	Roof Gutters: Yes
Site Above Street	Recommended Termination of Drainage to street
Condition of Street for Drainage Purposes	Maximum Rough Grade Allowed: 20 %
A/C	
Driveway Grade: % Proposed	

GRADING APPROVAL TO ISSUE PERMITS (S)
OK TO ISSUE, SEE BELOW FOR COMMENTS.
X DO NOT ISSUE UNTIL BELOW REQUIREMENTS HAVE BEEN SATISFIED.

- CONDITIONS & REQUIREMENTS PRECEDENT TO ISSUING PERMIT
- X 1. A grading permit is required for excavation and backfill.
 - X 2. A retaining wall permit is required.
 - X 3. CD/A permit required for vertical cuts 5 feet or over.
 - X 4. All footings shall be founded in undisturbed natural soil per Code.
 - X 5. Comply with the provisions of Section 91.1804.4 for expansive soil conditions.
 - X 6. In the event excavations reveal unfavorable conditions, the services of a soils engineer and/or geologist may be required.
 - X 7. Soils reports are required. Submit three copies (1 original and 2 copies), with appropriate fees, to the Grading Section for review and approval.
 - X 8. Incorporate all recommendations of the approved report(s) and Department letters dated TO COME into the plans. Soils, Engineer to sign plans.
 - X 9. Site is subject to mudflow. Comply with provisions of Section 91.7014.3.
 - X 10. Buildings shall be located clear of the toe of all slopes which exceed a gradient of 3 horizontal to 1 vertical as per Section 91.1805.5.2.
 - X 11. Footings shall be set back from the descending slope surface exceeding 3 horizontal to 1 vertical as per Section 91.1805.5.3.
 - X 12. Swimming pools and spas shall be set back from descending and ascending slopes as per Section 91.1805.5.4.
 - X 13. Department approval is required for construction of an over slope steeper than 2 horizontal to 1 vertical.
 - X 14. Provide complete details of engineered temporary shoring or slot cutting procedures on plans. Call for inspection before excavation begins.
 - X 15. All concentrated drainage, including roof water, shall be conducted, via gravity, to the street or an approved location at a 2% minimum. Drainage to be shown on the plans.
 - X 16. A Registered Deputy Inspector is required for SLOT CUTS OR SHORING.
 - X 17. All fill or backfill shall be compacted by mechanical means to a minimum 90% relative compaction as determined by ASTM method D-1557. Subdrains shall be provided where required by Code.
 - X 18. Soils on the plans: The soils engineer is to approve the key or bottom and leave a certificate on the site for the grading inspector. The grading inspector is to be notified before any grading begins and, for bottom inspection, before fill is placed. Fill may not be placed without approval of the grading inspector.
 - X 19. Existing non-conforming slopes shall be cut back at 2:1 (25 degrees) or retained.
 - X 20. All cut or fill slopes shall be no steeper than 2:1 (25 degrees).
 - X 21. Stake and flag the property lines in accordance with a licensed survey map.
 - X 22. Approval required by the Department of PUBLIC WORKS for STREET CUTS.

ADDITIONAL REQUIREMENTS:
INITIAL GRADING INSPECTION REQUIRED

http://10.8.3.38/gpi.nsf/029ecc330c820b3f88256bd5007ecb77?OpenForm&ParentUNID=D... 3/3/2006

DEMOLITION NOTES

- PROVIDE PROTECTIVE BARRIER AROUND WORK AREA.
- THE STORAGE AND HANDLING OF MATERIAL AND THE PREVENTION OF DUST SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 91.108.13 OF THE BUILDING CODE
- SHOULD A DANGEROUS CONDITION DEVELOP DURING THE DEMOLITION OF A STRUCTURE, THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY BARRICADE THE DANGEROUS AREA, NOTIFY DEPARTMENT OF BUILDING AND SAFETY AND TAKE IMMEDIATE STEPS TO MINIMIZE THE HAZARD. NO FURTHER DEMOLITION WORK SHALL BE DONE UNTIL APPROVAL TO PROCEED IS GIVEN BY THE DEPARTMENT OF BUILDING AND SAFETY.
- BEFORE REMOVING ANY VEGETATION CONSULT WITH THE LANDSCAPE ARCHITECT.
- REMOVE EXISTING RETAINING WALLS PER SOILS ENGINEER RECOMMENDATION.
- OWNER SHALL RESERVE THE RIGHT TO TAKE POSSESSION OF ANY OR ALL SALVAGEABLE ITEMS DURING DEMOLITION. ALL OTHER UNDESIRABLE ITEMS SHALL BE REMOVED FROM THE SITE.
- PROTECT TREES DURING DEMOLITION AND CONSTRUCTION. CONSULT WITH LANDSCAPE ARCHITECT BEFORE DIGGING WITHIN 20' OF LARGE CENTRAL ELM TREE.
- REFER TO ARCHITECTURAL STRUCTURAL CIVIL AND LANDSCAPE DRAWINGS TO COORDINATE DEMOLITION REQUIRED FOR NEW WORK.

Department of Building & Safety, City of Los Angeles
APPROVED
Building Plan Check

This set of plans shall be at the job site during construction. If these plans are changed, the contractor shall obtain approval from the Department of Building & Safety. The contractor shall not be held responsible for any changes or alterations made to these plans. ALL REVISIONS TO THESE PLANS SHALL BE MADE IN ACCORDANCE WITH THE CITY OF LOS ANGELES BUILDING CODE AND THE CITY OF LOS ANGELES DEPARTMENT OF BUILDING & SAFETY PLAN CHECK PROCEDURE.

DATE: _____
BY: _____
Building PER NO.: _____

REVISIONS	BY

Project Designer
Ilana Behrend & John Owzarek
16943 Dulce Ynez Lane,
Pacific Palisades, Calif. 90272
310-498-0468; 310-413-4469

Certificate of Compliance: Residential (Part 3 of 3) CF-1R

Project Title: SINGLE HOUSE Date: 2/28/2006

Table with columns: Location, Heating Type, Minimum Eff, Cooling Type, Minimum Eff, Condition Status, Thermostat Type.

Table with columns: Location, Heating Type, Cooling Type, Duct Location, Duct R-Value, Condition Status, Ducts Tested?

Table with columns: System Name, Pipe Length, Pipe Diameter, Insul. Thick.

Table with columns: System Name, Water Heater, Distribution, # in Syst., Rated1 Cap., Tank Cond., Energy Factor, Standby Loss, Tank Insul., R-Value Ext.

Table with columns: Multi-Family Central Water Heating Details, Control, #, HP, Type, Hot Water Pipeline Length (ft), Add 1/2" Insulation.

REMARKS: For small gas storage (rated input < 75000 Btu/hr) electric resistance and heat pump water heaters, list energy factor...

COMPLIANCE STATEMENT: This certificate of compliance lists the building features and specifications needed to comply with Title 24, Parts 1 and 6 of the California Code of Regulations...

Designer or Owner (per Business & Professions Code): SARAMEI CONSULTING ENGINEERS, 4942 HIGHLAND VIEW AVE, LOS ANGELES, CA 90024. Documentation Author: RAYMOND M. ZHONG, PERFECT DESIGN & ENGINEERING, INC., 2418 W. 95TH BLDG, ALHAMBRA, CA 91803.

Mandatory Measures Summary: Residential (Page 1 of 2) MF-1R

NOTE: Lower residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. More stringent compliance requirements from the Certificate of Compliance supersede the items marked with an asterisk (*) below.

Table with columns: DESCRIPTION, N/A, DESIGNER, MEHT, ENFORCE. Includes items like Building Envelope Measures, HVAC Distribution, Hydronic Piping, Water Heating Systems, etc.

Space Conditioning, Water Heating and Plumbing System Measures

Table with columns: N/A, DESIGNER, MEHT, ENFORCE. Includes items like 110-12: HVAC Equipment, Water heaters, showerheads, 150-9: Heating and/or cooling loads calculated in accordance with ASHRAE...

Mandatory Measures Summary: Residential (Page 2 of 2) MF-1R

NOTE: Lower residential buildings subject to the Standards must contain these measures regardless of the compliance approach used. More stringent compliance requirements from the Certificate of Compliance supersede the items marked with an asterisk (*) below.

Table with columns: DESCRIPTION, N/A, DESIGNER, MEHT, ENFORCE. Includes items like Space Conditioning, Water Heating and Plumbing System Measures, Lighting Measures, etc.

Table with columns: N/A, DESIGNER, MEHT, ENFORCE. Includes items like 111: Pool and Spa Heating Systems and Equipment, 112: Gas fired fan-type central furnaces, 113: Gas fired hot water heaters, 114: HVAC Equipment...

Residential Kitchen Lighting Worksheet WS-5R

Project Title: SINGLE HOUSE Date: 2/28/2006

At least 60% of the total rated wattage of permanently installed luminaires in kitchens must be in luminaires that are high efficacy luminaires as defined in Table 150-C.

Kitchen Lighting Schedule. Provide the following information for all luminaires to be installed in kitchens.

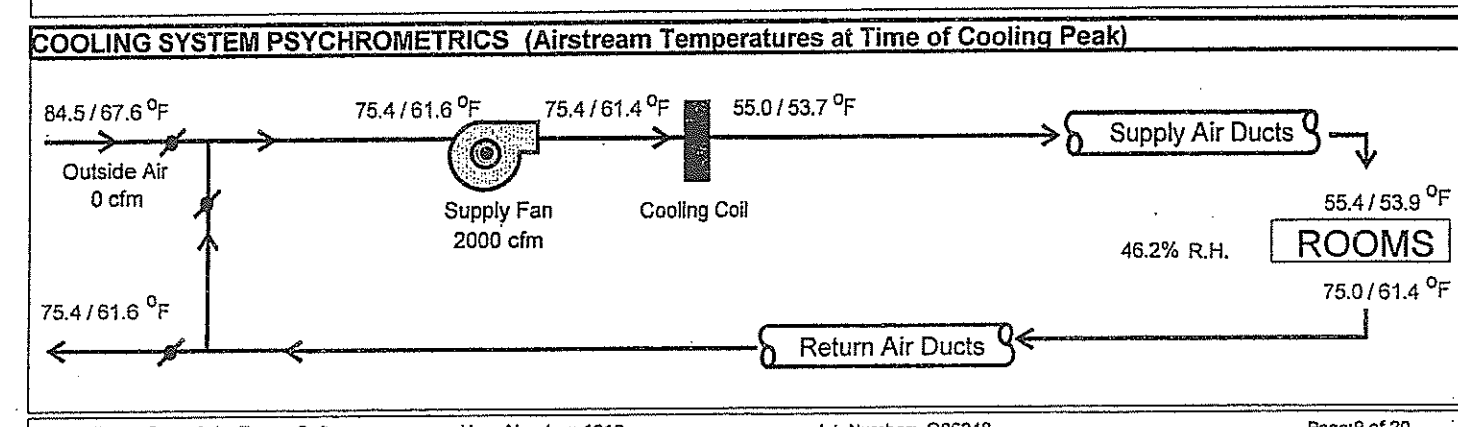
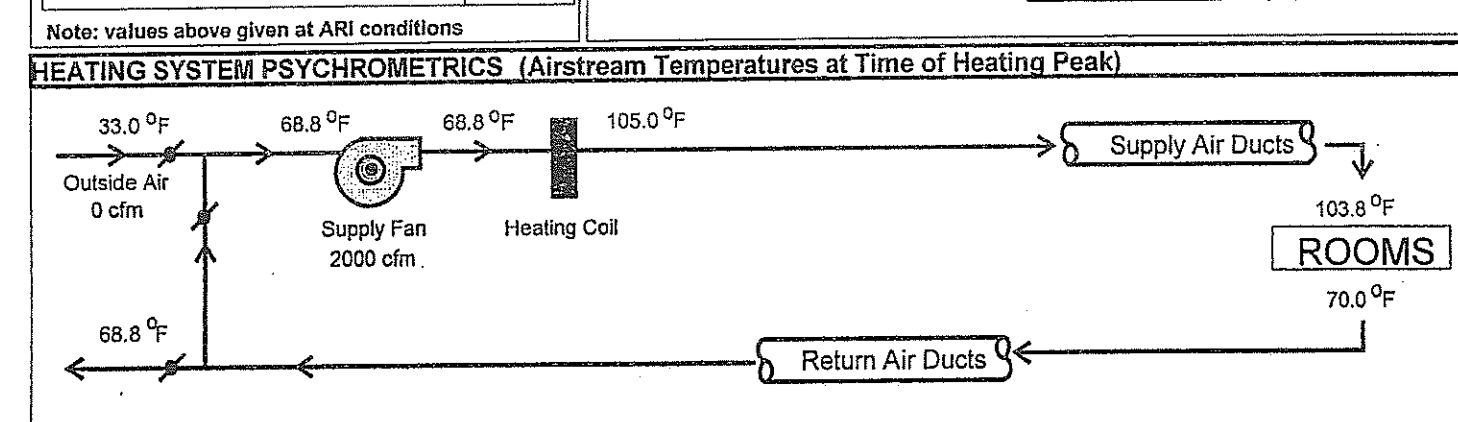
Table with columns: Luminaire Type, High Efficacy?, Watts, Quantity, High Efficacy Watts, Other Watts.

Total A: 560 W, B: 0. COMPLES IF A > B YES [X] NO []

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

PROJECT NAME: SINGLE HOUSE DATE: 2/28/2006. FLOOR AREA: 2,567. SYSTEM NAME: BASEMENT FLOOR PLAN.

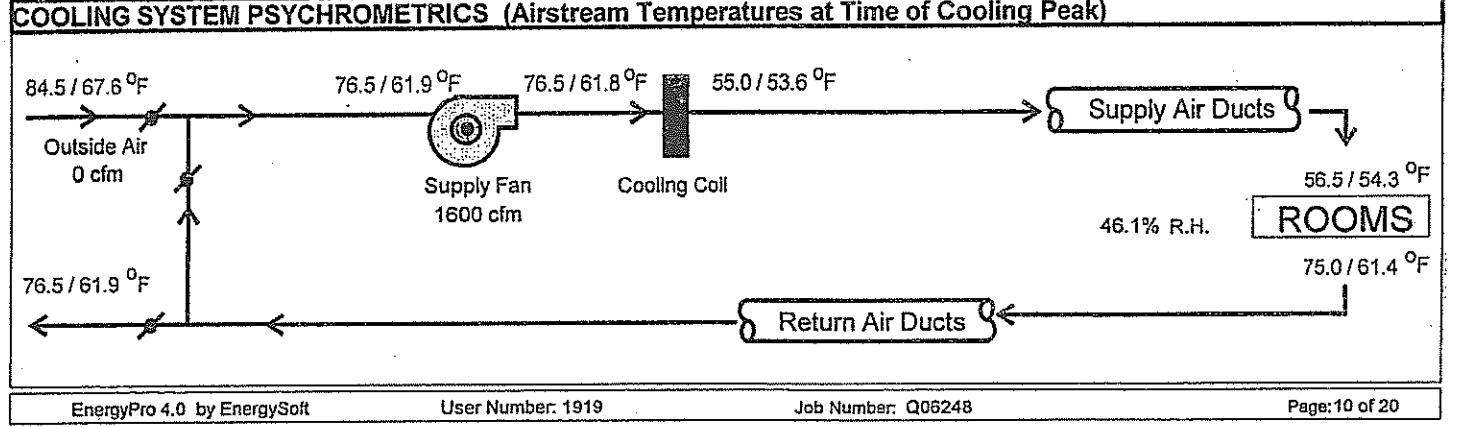
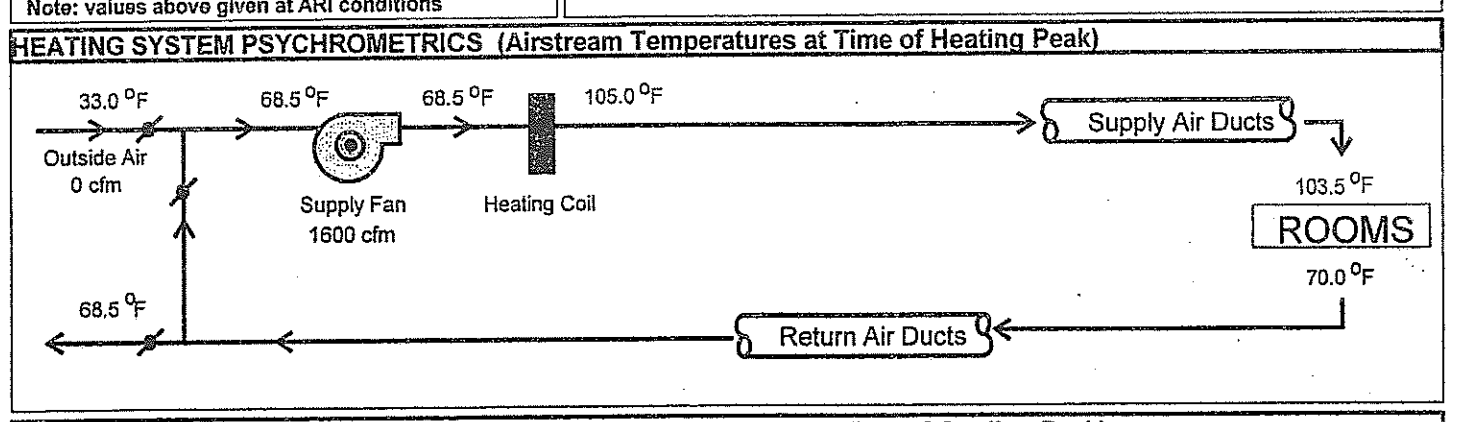
Table with columns: ENGINEERING CHECKS, SYSTEM LOAD, COIL COOLING PEAK, COIL HTG. PEAK. Includes Heating System, Cooling System, Air System, and HVAC Equipment Selection.



HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

PROJECT NAME: SINGLE HOUSE DATE: 2/28/2006. FLOOR AREA: 2,142. SYSTEM NAME: 1ST FLOOR PLAN.

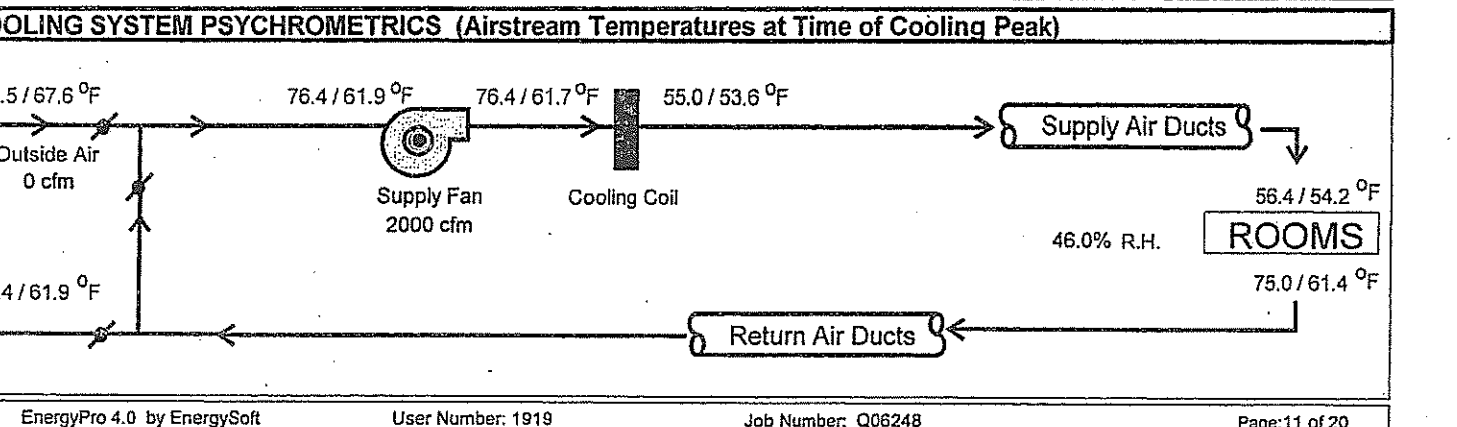
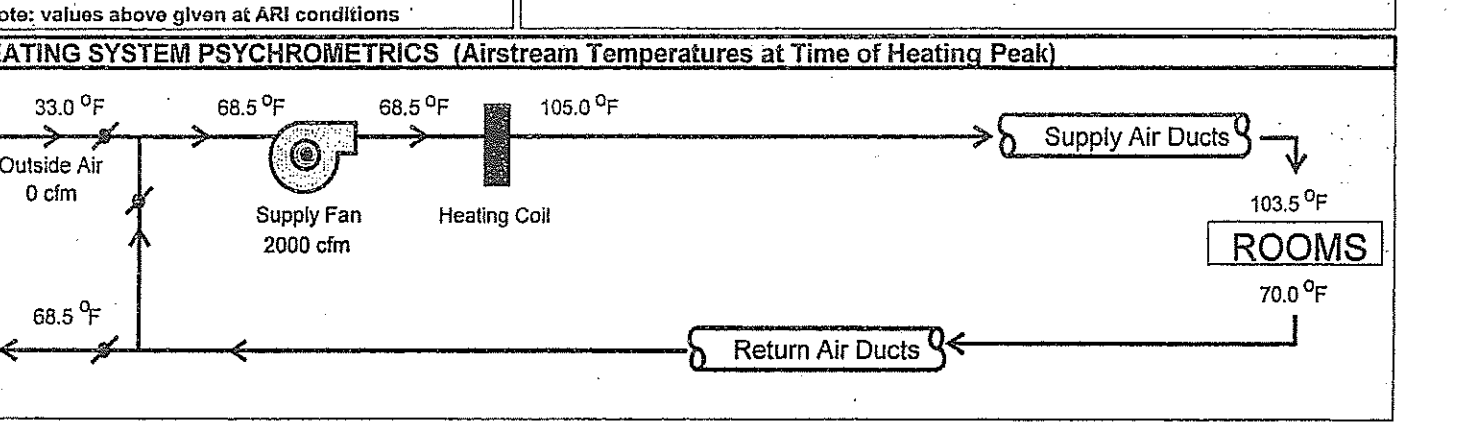
Table with columns: ENGINEERING CHECKS, SYSTEM LOAD, COIL COOLING PEAK, COIL HTG. PEAK. Includes Heating System, Cooling System, Air System, and HVAC Equipment Selection.



HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

PROJECT NAME: SINGLE HOUSE DATE: 2/28/2006. FLOOR AREA: 2,633. SYSTEM NAME: 2ND FLOOR PLAN.

Table with columns: ENGINEERING CHECKS, SYSTEM LOAD, COIL COOLING PEAK, COIL HTG. PEAK. Includes Heating System, Cooling System, Air System, and HVAC Equipment Selection.



APPROVED stamp with signature lines and registration information for Raymond M. Zhong.

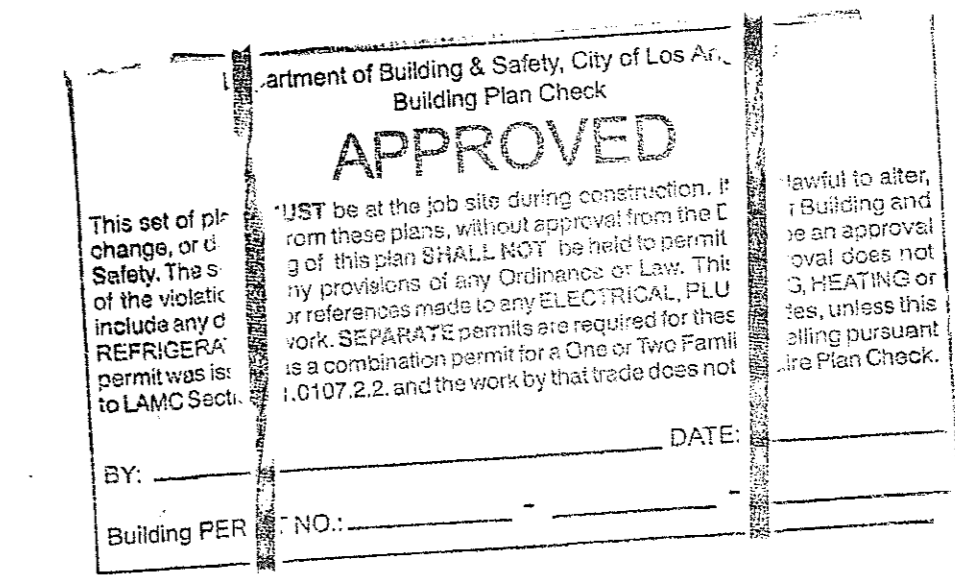
REVISIONS table with columns for revision number, description, and date.

DOOR SCHEDULE

WINDOW SCHEDULE

RM#	TYPE	SIZE	KIND	MAT'L	FINISH	REMARKS	QTY	RM#	TYPE	SIZE	KIND	MAT'L	FINISH	REMARKS	QTY
BASEMENT															
3	003 012	3'-0" x 8'-0" x 1 3/4"		MTL SKIN GLASS	PAINT	ENTRY, WEATHER STRIP, TEMP	2	I	003 012	3'-0" x 5'-0"	CASEMT/ AWNING	ALUM./GL.		2 SECTIONS BOT. SEC. TEMP	2
10	015	2'-8" x 7'-0" x 2"		WD./GLASS	STAIN	SPECIAL ORDER - SAUNA	1	M	007	6'-0" x 4'-0"	PICTURE	STL./GL.		SPECIAL ORDER /RODL WIND.	1
11	016	2'-8" x 8'-0" x 1 3/4"		WD. VENEER GLASS	- -	GL. OBSCURE	2	F	010	2'-6" x 5'-0"	CASEMT/ AWNING	ALUM./GL.		2 SECTIONS	1
13	008 014	3'-0" x 8'-0" x 1 3/4"		MTL SKIN	PAINT	GASKET, SELF-CLOSING	2	N	010	4'-0" x 9'-0"	PICTURE/ AWNING	- - - -		2 SECTIONS	5
14	003 005 006, 010	3'-0" x 8'-0" x 1 3/4"		WD./GL.	STAIN	TEMP. GLASS, FRENCH	6	K	007	3'-0" x 6'-0"	CASEMT/ AWNING	- -		2 SECTIONS	2
15	007 009	3'-0" x 8'-0" x 1 3/4"		WD. VENEER	- -	SOLID CORE	2	1ST FLOOR							
19	003	6'-0" x 8'-0" x 1 3/4"		- - - -	- -	PAIR OF 3 rd x 8 th , LOUVERED	1	B	105	2'-0" x 5'-0"	AWNING	ALUM./GL.			1
22	010	5'-4" x 8'-0" x 1 3/4"		- - - -	- -	PAIR OF 2 nd x 8 th	1	E	107	2'-0" x 10'-0"	PICTURE	ALUM./GL.		FIX. CORNER	2
								G	101	2'-6" x 13'-0"	- -	- - - -		VERT. - 3 SEC. OF 6" HIGH	1
								H	102 111	2'-8" x 1'-10"	AWNING	- - - -		ABOVE DR. # 2	2
								J	104	3'-0" x 5'-6"	CASEMT/ AWNING	- - - -		2 SECTIONS	1
								R	103 104	6'-0" x 1'-10"	AWNING	- - - -			2
1ST FLOOR															
2	102 111	2'-8" x 8'-0" x 1 3/4"		WD./GLASS	PAINT/STAIN	ENTRY, TEMP. GLASS	2	U	109	5'-0" x 10'-0"	PICTURE/ AWNING	- - - -		2 SECTIONS, L=10'-0"	2
4	101	5'-0" x 8'-0" x 2 1/4"		- - - -	STAIN	ENTRY, PIVOT, TEMP. GL.	1	V	111	5'-8" x 10'-0"	- -	- - - -		2 SECTIONS, L=11'-4"	2
6	111	12'-0" x 10'-0"		ALUM./GL.		3-SECTIONS OF 4 th x 10 th	1	W	110	4'-6" x 1'-10"	AWNING	- - - -		2 SECTIONS, L=9'-0"	1
7	108	16'-0" x 10'-0"		- - - -		2-4 th x 10 th FIX, 3 rd x 10 th SLIDER	1								
8	107 NORTH	19'-6" x 10'-0"		- - - -		2 FIX. PNLS, + SLIDER	1								
9	107 SOUTH	19'-6" x 10'-0"		- - - -		2 FIX. PNLS, + SLIDER	1								
12	102, 104 105, 106	2'-8" x 8'-0" x 1 3/4"		WD. VENEER	STAIN	SOLID CORE 20 MIN. @ GAR. W/ GASKET + SELF CLOSING	4								
16	104	4'-0" x 8'-0" x 1 3/4"		- - - -	- -	PAIR OF 2 nd x 8 th	1	2ND FLOOR							
17	102	5'-4" x 8'-0" x 1 3/4"		- - - -	- -	PAIR OF 2 nd x 8 th - BI-FOLD	1	A	107	2'-0" x 4'-6"	PICTURE	ALUM./GL.		ABOVE WIND. E. CORNER	2
19	103	6'-0" x 6'-8" x 1 3/4"		SLAB	PAINT	PAIR OF 3 rd x 6 th - BI-FOLD	1	C	217	2'-0" x 5'-6"	CASEMT/ AWNING	- - - -		2-SECTIONS	1
21	103	17'-0" x 7'-6"		WD./GL.	- -	OVERHEAD SECTIONAL GAR.	1	D	213 218	2'-0" x 6'-6"	- -	- - - -		2-SECTIONS	4
								H	202	2'-8" x 1'-10"	AWNING	- - - -		ABOVE DR. # 1	1
								K	204 207 213	3'-0" x 6'-0"	CASEMT/ AWNING	- - - -		2-SECTIONS	4
2ND FLOOR															
1	202	2'-8" x 7'-0" x 1 3/4"		WD./GL.	PAINT/ STAIN	TEMP. GL. WEATHER STRIP	1	L	215	3'-4" x 1'-10"	AWNING	- - - -			1
5	218	12'-0" x 9'-0"		ALUM./GL.		EXT. SLIDER	1	N	204	4'-0" x 9'-0"	PICTURE AWNING	- - - -		2-SECTIONS	4
12		2'-8" x 8'-0" x 1 3/4"		WD. VENEER	STAIN	TYP. INTERIOR, SOLID CORE	9	O	107	4'-10 1/2" x 8'-0"	PICTURE	- - - -		4 SECTIONS, L=19'-6"	4
15	204, 207 211, 213	3'-0" x 8'-0" x 1 3/4"		- -	- -	TYP. INT., SOLID CORE	4	P	201	4'-10 1/2" x 11'-0"	PICTURE/ AWNING	- - - -		4 SECTIONS, L=19'-6"	4
18	207 211	5'-4" x 8'-0" x 1 3/4"		WD.	- -	PAIR OF 2 nd x 8 th , LOUVERED	2	R	209 211, 213	5'-0" x 1'-10"	AWNING	- - - -			5
20	216	10'-0" x 8'-0" x 1 3/4"		WD. VENEER	- -	3 SECTIONS - SLIDER	1	S	206 208	2'-0" x 4'-2" 5'-0" x 1'-10"	CASEMT/ AWNING	- - - -		L-SHAPE COMBO	2
								T	218	5'-0" x 9'-0"	PICTURE/ AWNING	- - - -			3
								W	210	4'-6" x 1'-10"	AWNING	- - - -		2 SECTIONS, L=9'-0"	1
								Y	211	6'-0" x 6'-0"	- -	- - - -		2-SECTIONS	1
								Z	214	8'-0" x 2'-2" 8'-0" x 1'-10"	PICTURE AWNING	- - - -		2 SECTIONS	1
								AA	218	4'-0" x 6'-0"	SKYLIGHT	- - - -		SLIDING BRISTOLITE [®] LA # 23556	1

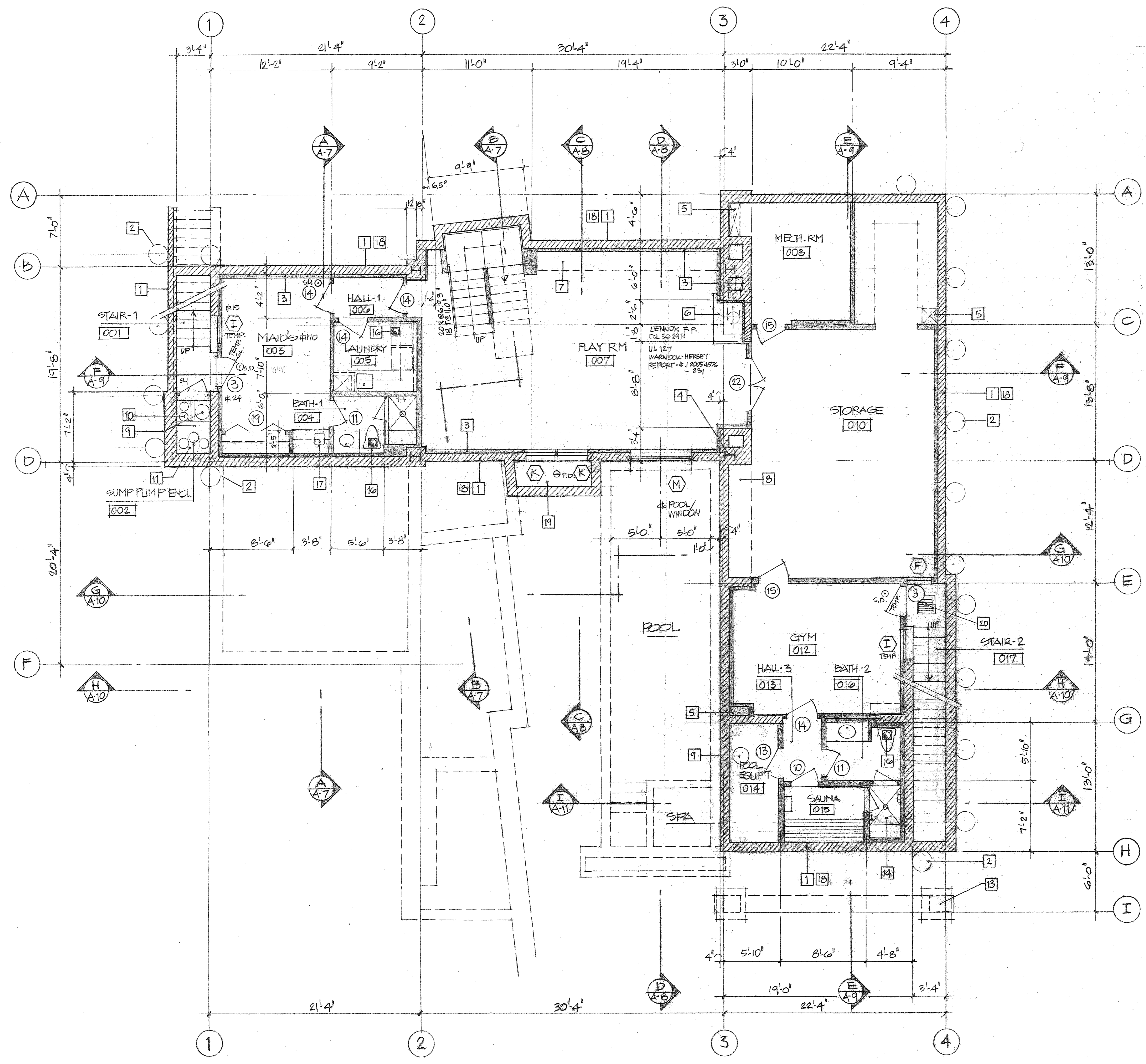
FOR SECURITY REQUIREMENTS RE: DOORS AND WINDOWS SEE GENERAL NOTES, SHT. 2



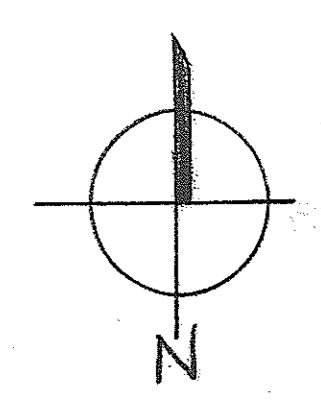
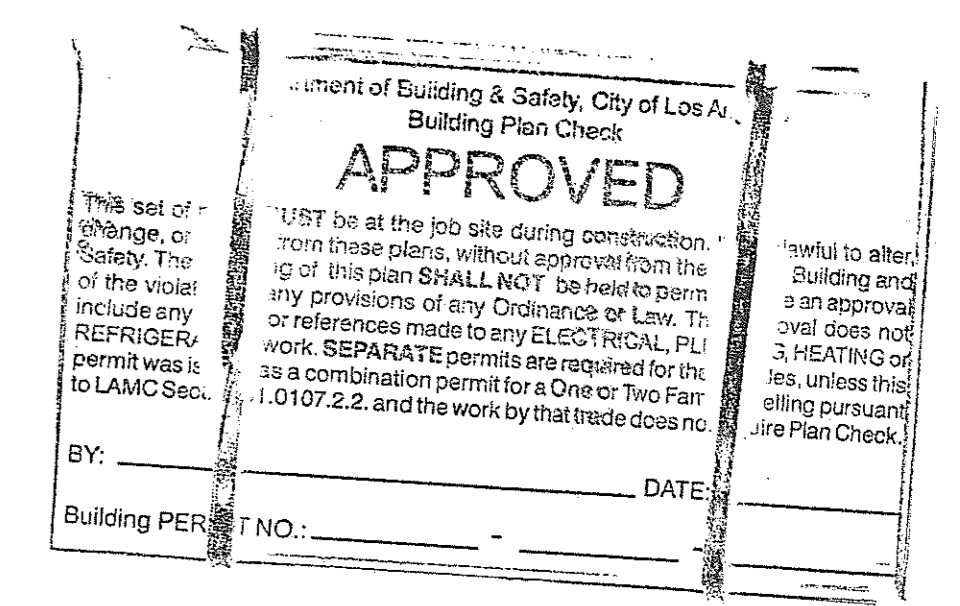
REVISIONS BY

Project Designer: Ilana Behrend & John Owzarek
16943 Dulce Ynez Lane, Pacific Palisades, Calif. 90272
310-498-0468; 310-413-4469

Date: 03-06-06
Scale: AS SHOWN
Drawn: J.O.
Job: BEHREND 06
Sheet: 7
Of: 7 Sheets



- KEY NOTES :**
- 1 SHOTCRETE RETAINING WALLS
 - 2 24" DIA. CONC. "SOLDIER PILES"
 - 3 2x4 FURR-CUT STUD WALL
 - 4 MOMENT FRAME STRUCTURE ABOVE
 - 5 AIR IN-TAKE CHASE FROM ABOVE
 - 6 FIREPLACE
 - 7 BUILT-IN CABINET
 - 8 STORAGE CABINETS
 - 9 EJECTOR PUMP COUNTERSINK IN FLOOR
 - 10 "SURFACE WATER" COMPARTMENT W/PUMPS
 - 11 SUBDRAIN WATER COMPARTMENT W/PUMPS
 - 12 PARTITION WALLS
 - 13 CONC. PADS W/ GRADE BM ABOVE
 - 14 STEAM ENCLOSURE DOOR ASSEMBLY
 - 15 LAUNDRY CHUT.
 - 16 FAN, MIN. 5 X AIR CHANGE /HR. MIN.
 - 17 12" SB, MAX. BAR SINK.
 - 18 BELOW GRADE WATERPROOFING ELASTO-DECK B.T. BY "PACIF. POLYMERS" LARR 24350
 - 19 LIGHT WELL W/ DRAIN
 - 20 GRATE @ PUMP COMPARTMENT



BASEMENT FLOOR PLAN

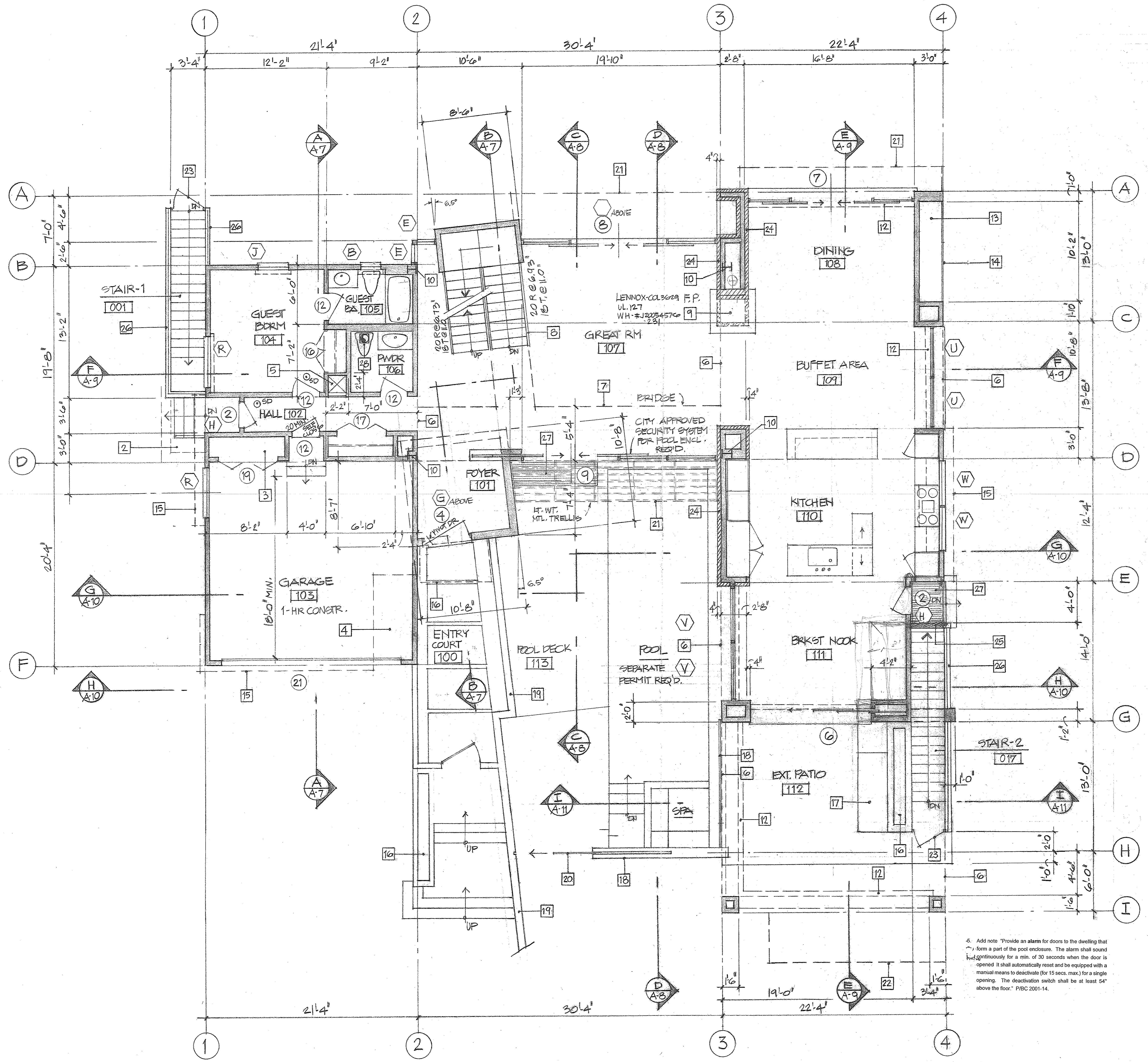
1/4" = 1'-0"

1

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REVISIONS	BY

Project Designer:
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 Pacific Palisades, Calif. 90272
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- 1 ELECTRICAL PANEL
- 2 SUMP PUMP PIT BELOW, SEE SHT. A-1
- 3 GARAGE CLOSET
- 4 BALCONY ABOVE
- 5 LAUNDRY CHUTE
- 6 2ND FLOOR ABOVE
- 7 "BRIDGE"
- 8 STEEL FRAME STAIRS
- 9 FIREPLACE
- 10 MOMENT FRAME STRUCTURE
- 11 CURTAIN AND/OR LIGHT "POCKET"
- 12 RAISED "SHELF" FOR HVAC CONDENSERS
- 13 DOVERED SCREEN
- 14 2ND FLOOR PROJECTION
- 15 PLANTER
- 16 EXTERIOR BUILT-IN SEATING
- 17 5 FT. HIGH POOL ENCLOSURE
- 18 MASONRY WALLS
- 19 SLIDING GATE (PART OF POOL ENCLOSURE)
- 20 LIGHT WEIGHT MTL. TRELLIS
- 21 BALCONY PROJECTION
- 22 CHILD PROTECTION GATE
- 23 STONE VENEER
- 24 38" HIGH @ LAND'S GUARD-WALL
- 25 CONC. CURB W/GUARDRAIL ON TOP
- 26 GRATE OVER LIGHT WELL AREA.
- 27 FAN, 5 X AIR CHANGE /HR., MIN.

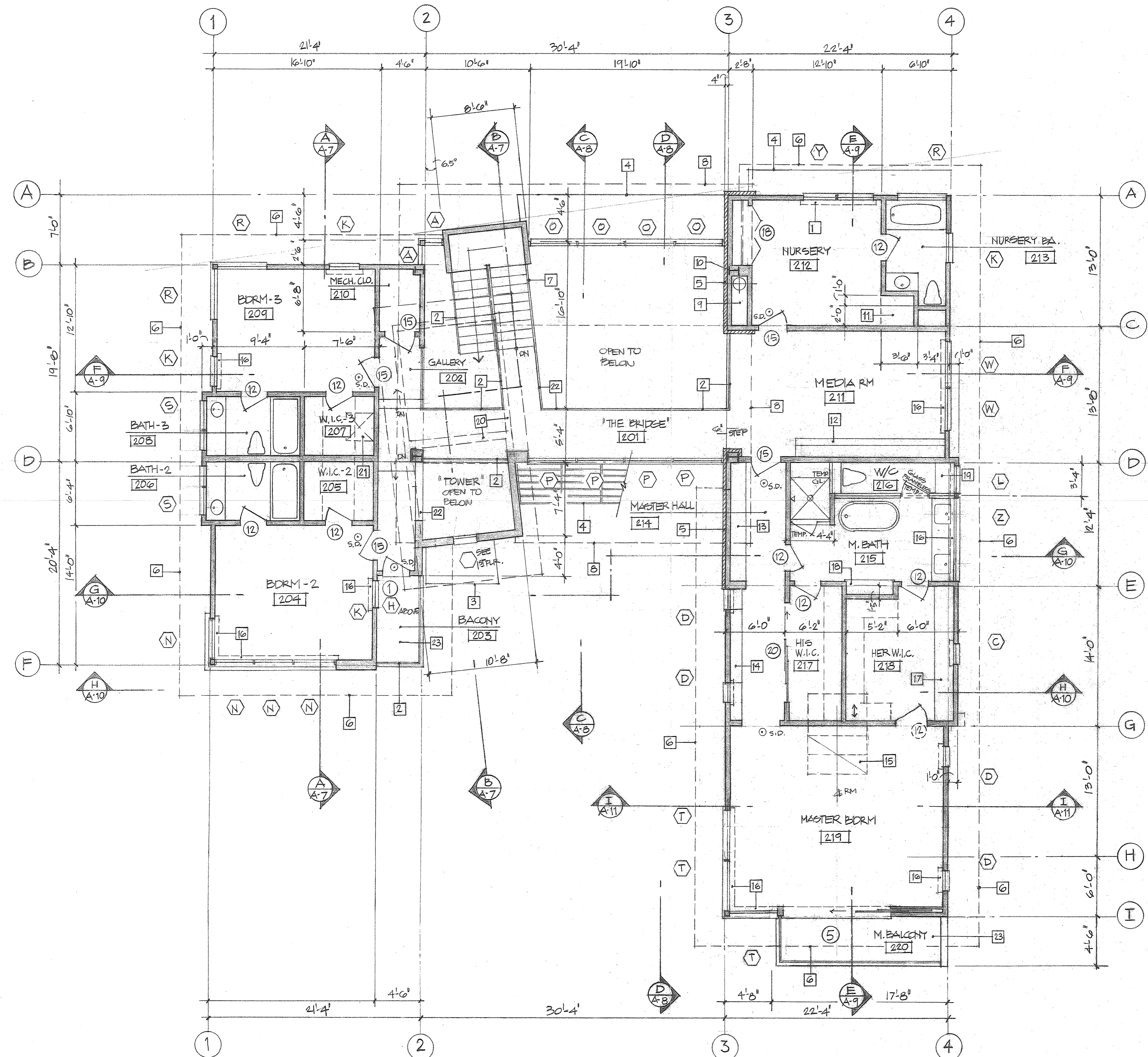
5. Add note "Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 64" above the floor." PIBC 2001-14.

Department of Building & Safety, City of Los Angeles Building Plan Check APPROVED	
This set of plans shall be at the job site during construction. If any change or correction is made to these plans, the contractor shall notify the Building and Safety Department in writing and obtain approval from the Building and Safety Department before proceeding. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for obtaining all necessary approvals from the Building and Safety Department. The contractor shall be responsible for obtaining all necessary approvals from the Building and Safety Department.	MUST be at the job site during construction. If any change or correction is made to these plans, the contractor shall notify the Building and Safety Department in writing and obtain approval from the Building and Safety Department before proceeding. The contractor shall be responsible for obtaining all necessary permits and licenses. The contractor shall be responsible for obtaining all necessary approvals from the Building and Safety Department. The contractor shall be responsible for obtaining all necessary approvals from the Building and Safety Department.
BY: _____	DATE: _____
Building PER. NO. _____	

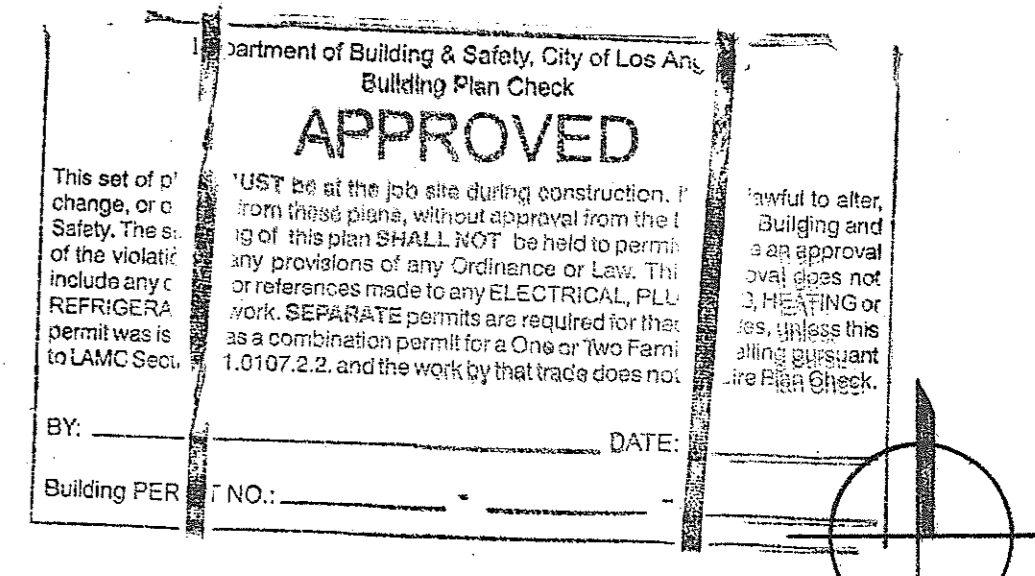
1ST FLOOR PLAN

1/4" = 1'-0"

REVISIONS	BY



- KEY NOTES :**
- 1
 - 2 37 1/2" HIGH APPROVED GUARDRAIL
 - 3 SUSPENDED LT. WT. METAL ROOF
 - 4 LIGHT WEIGHT METAL TRELLIS BELOW
 - 5 STONE VENEER
 - 6 HIGH ROOF ABOVE
 - 7 STEEL FRAME STAIR
 - 8 "V" SHAPE ROOF ABOVE
 - 9 FIREPLACE CHASE
 - 10 MOMENT FRAME STRUCTURE
 - 11 CLOSET
 - 12 WALL CABINET AND SHELVING
 - 13 HIS DRESSER
 - 14 HIS SHOE SHELVES
 - 15 SLIDING SKYLIGHT OPEN TO SKY
 - 16 CURTAIN AND/OR LIGHT "POCKET"
 - 17 HER DRESSER
 - 18 MAKE-UP COUNTER
 - 19 STORAGE CABINET
 - 20 HOUSING FOR MECH EQUIP'MT, SEE SHT. 6
 - 21 1/2" x 3/8" ROOF HATCH
 - 22 37 1/2" HIGH WALL OR GUARDRAIL
 - 23 ELASTO-DECK 1000 BY "PAC. POLYMERS, L.A. RR 23873



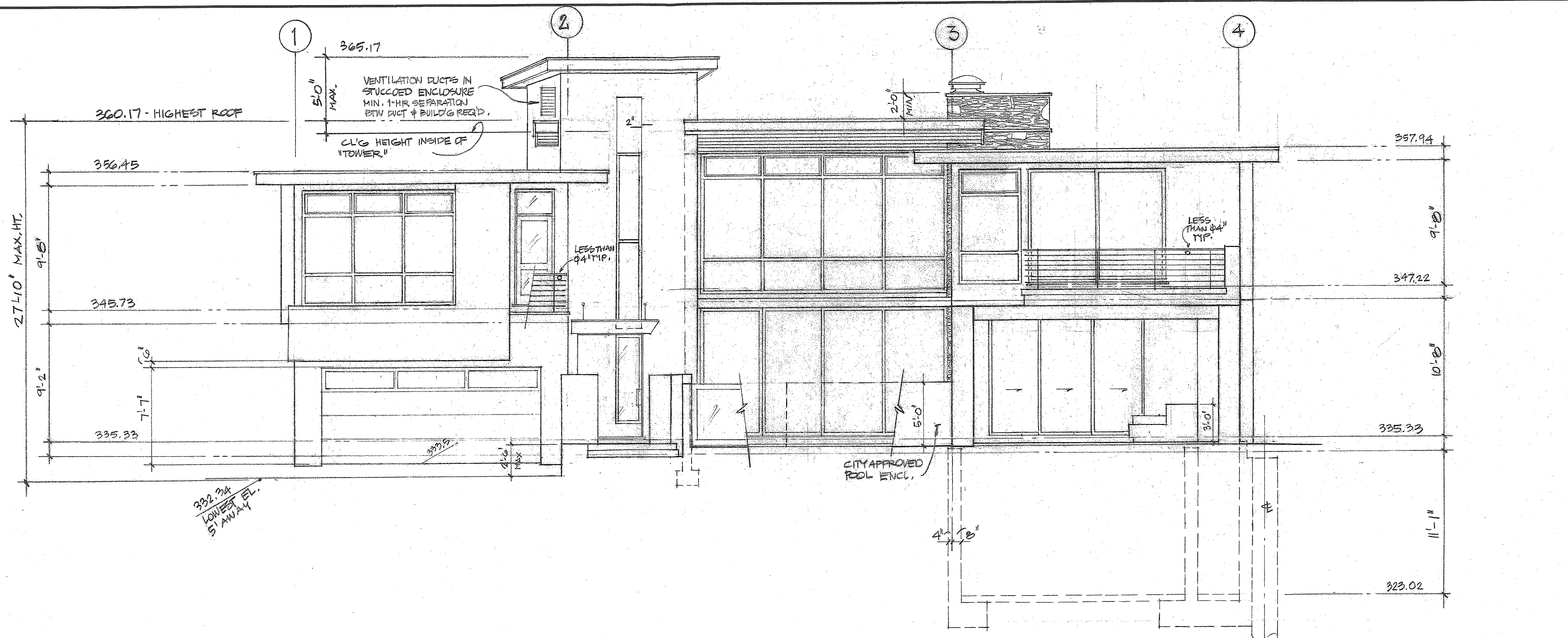
2ND FLOOR PLAN

1/4" = 1'-0"

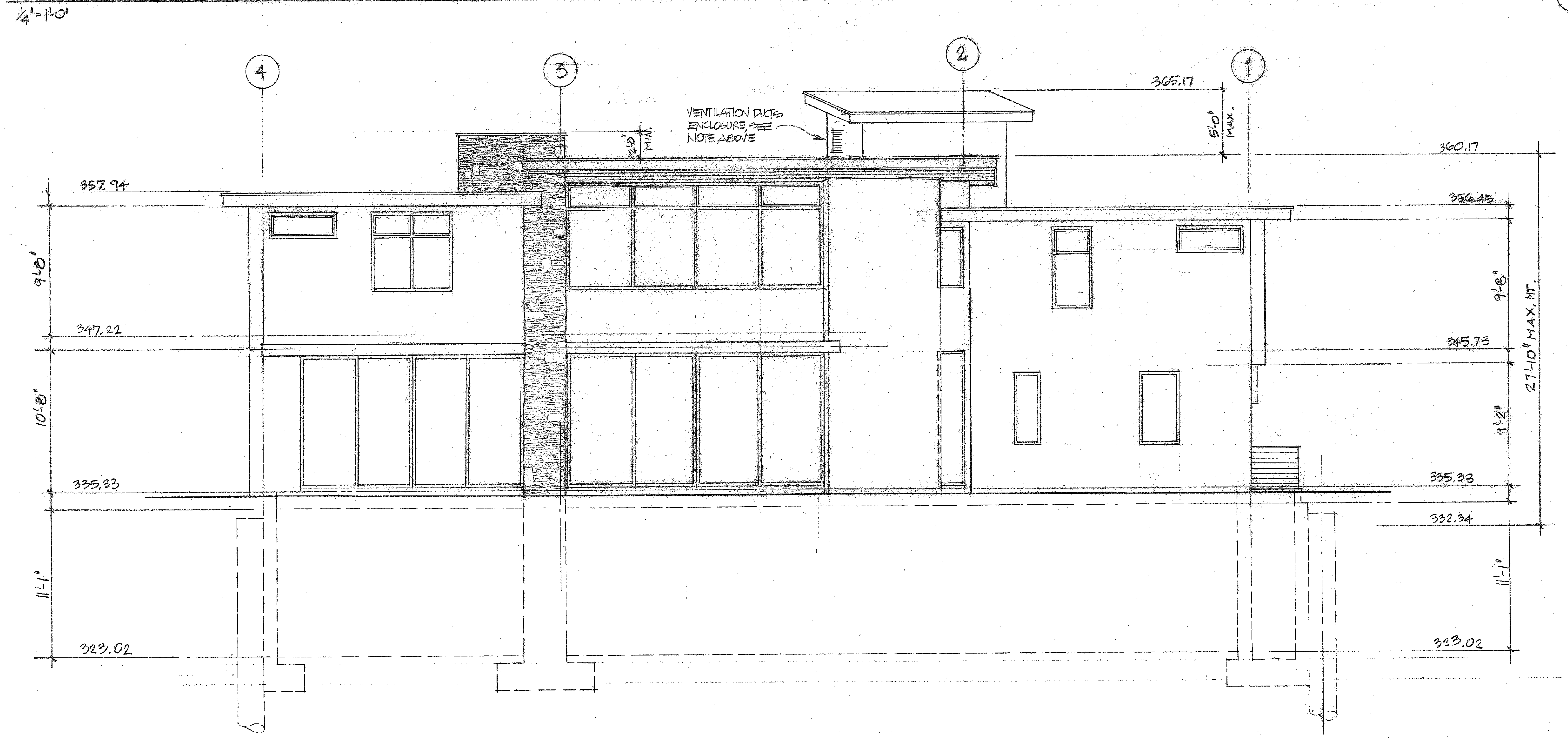
Project Designer:
 Ilana Behrend & John Owzarek
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 Pacific Palisades, Calif. 90272
 310-498-0468; 310-413-4469

Date 03-06-06
 Scale AS SHOWN
 Drawn J.O.
 Job BEHREND
 Sheet
A-3
 Sheets

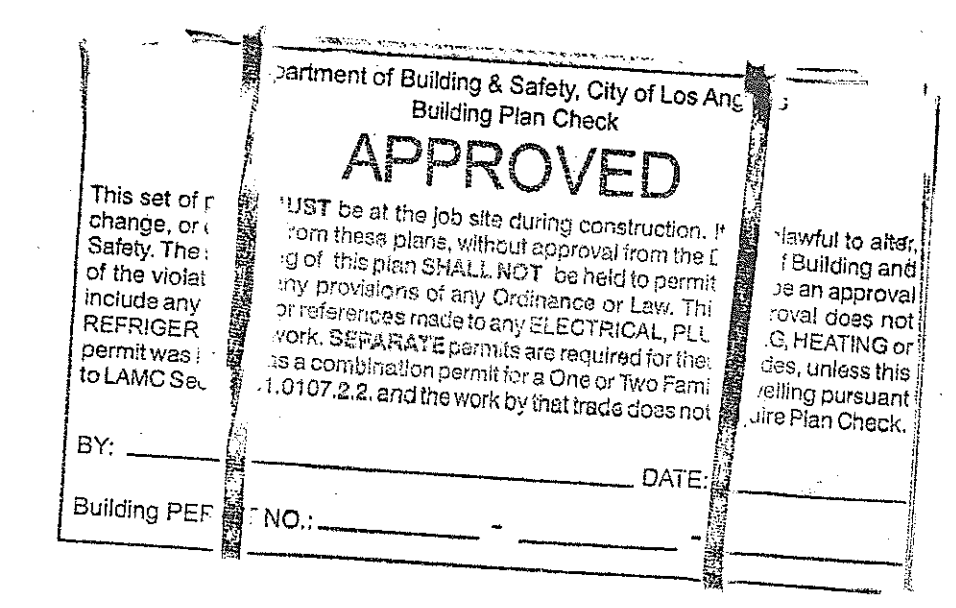
REVISIONS	BY



FRONT/SOUTH ELEVATION ①



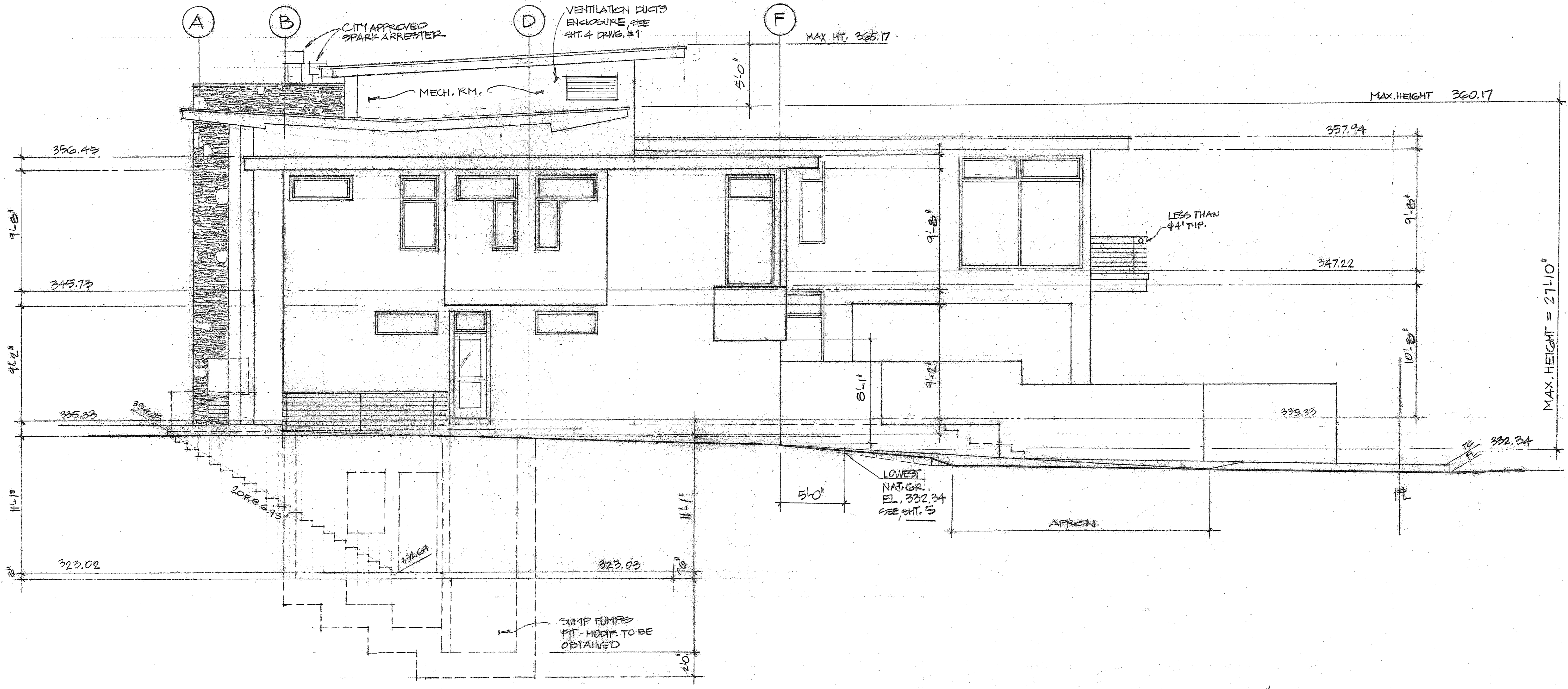
REAR/NORTH ELEVATION ②



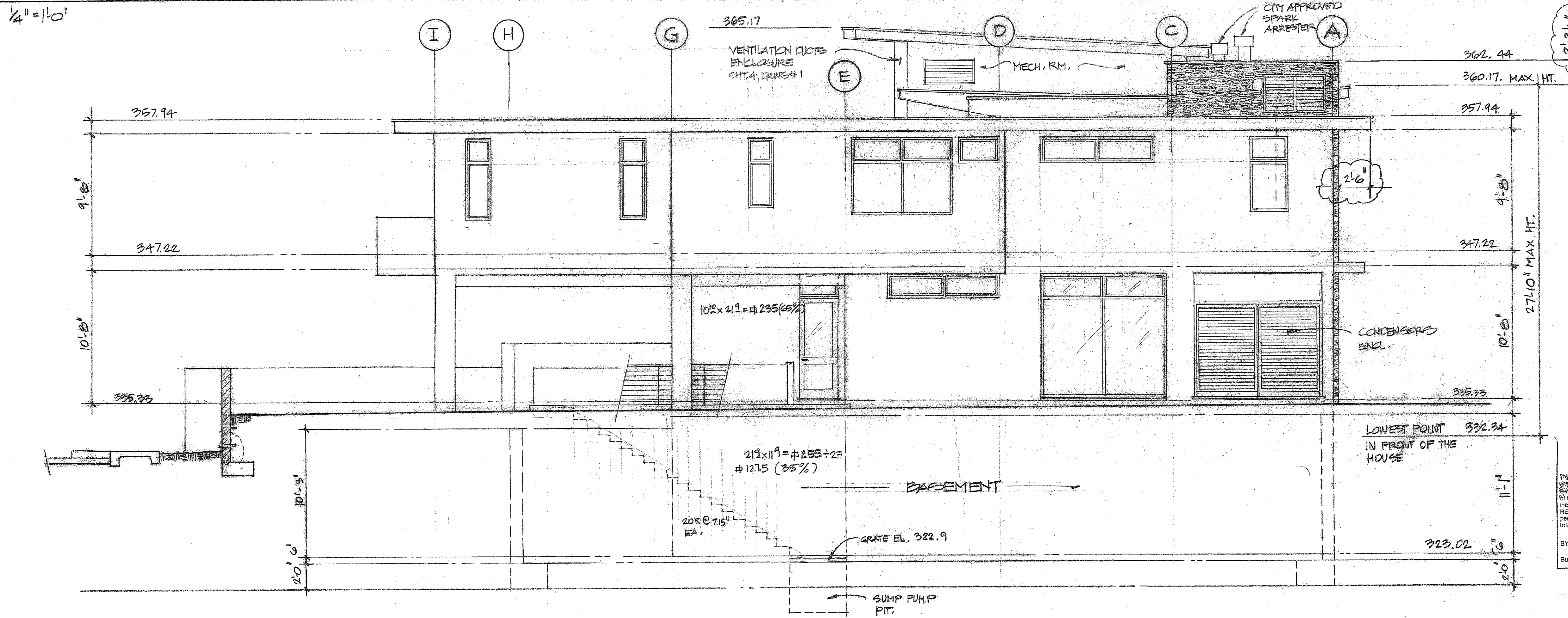
Project Designer:
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REVISIONS	BY

Project Designer:
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 310-498-0468; 310-413-4469



SIDE/WEST ELEVATION



SIDE/EAST ELEVATION

Department of Building & Safety, City of Los Angeles
 Building Plan Check
APPROVED

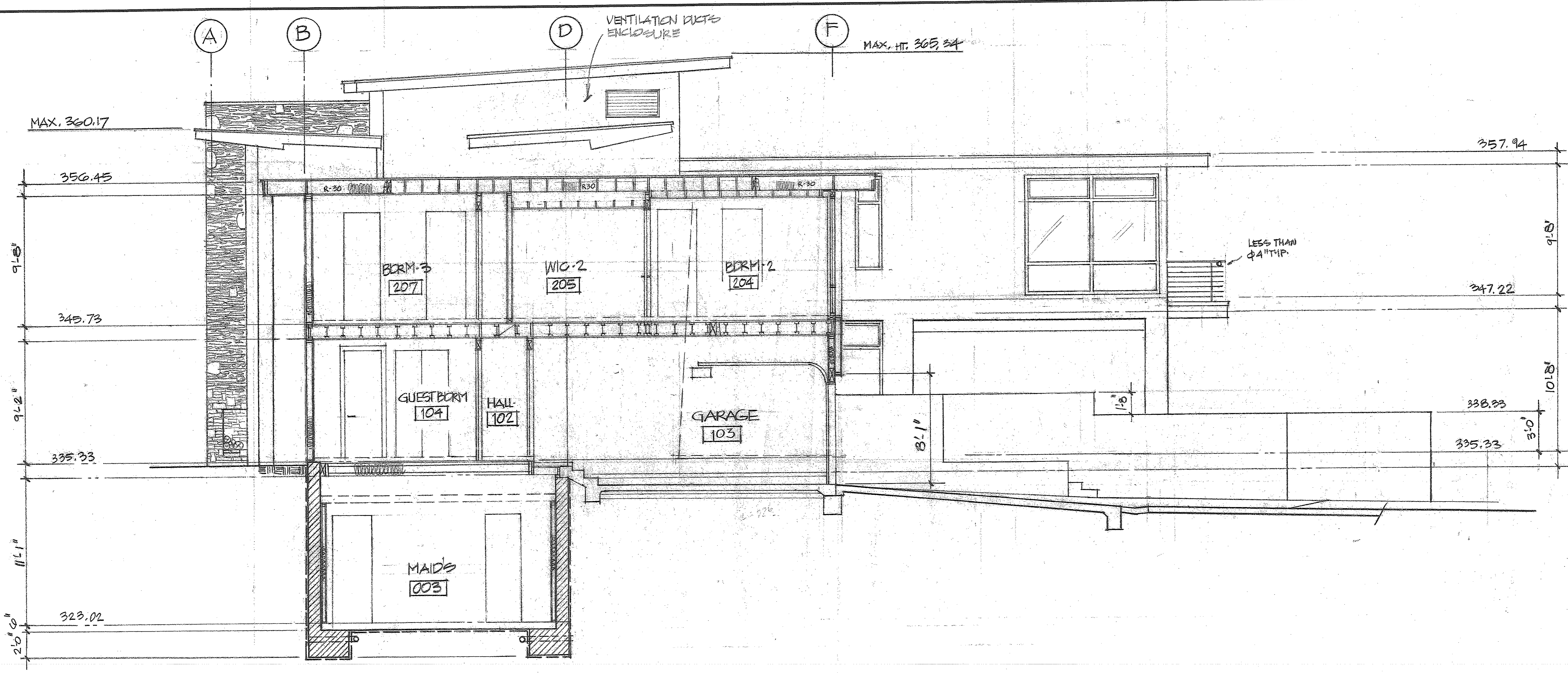
This set of plans, as shown, is approved for construction in accordance with the provisions of any Ordinance of Law, Title 22 of the Los Angeles Municipal Code, and any other applicable laws, rules, regulations, codes, and standards. This approval is based on the information provided and does not constitute a warranty or guarantee of any kind. The contractor is responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and standards. The contractor shall be at the job site during construction to answer questions and to provide access to the building for inspection. If the contractor fails to do so, the Department of Building & Safety reserves the right to stop the work and to require the contractor to pay the costs of any additional inspections or tests. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, rules, regulations, codes, and standards. The contractor shall be at the job site during construction to answer questions and to provide access to the building for inspection. If the contractor fails to do so, the Department of Building & Safety reserves the right to stop the work and to require the contractor to pay the costs of any additional inspections or tests.

BY: _____ DATE: _____
 Building PE# _____ FNO: _____

Date 03-06-2016
 Scale AS SHOWN
 Drawn J.O.
 Job BEHREND & OWZAREK
 Sheet
A-5
 of 5 Sheets

REVISIONS	BY

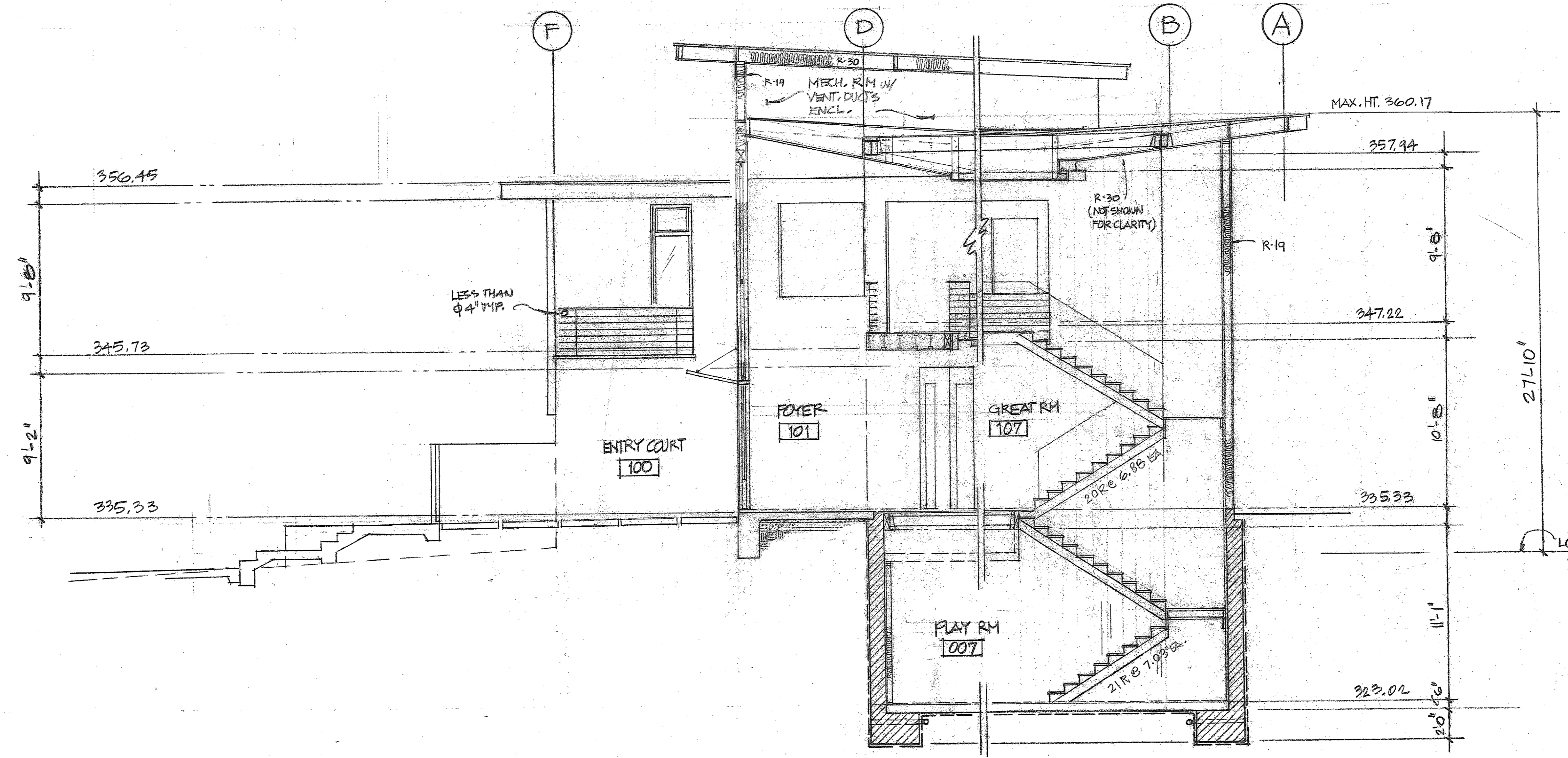
Project Designer:
 Milana Behrend & John Owzarek
 16943 Dulce Ynez Lane,
 Pacific Palisades, Calif. 90272
 310-498-0468; 310-413-4469



SECTION A-A

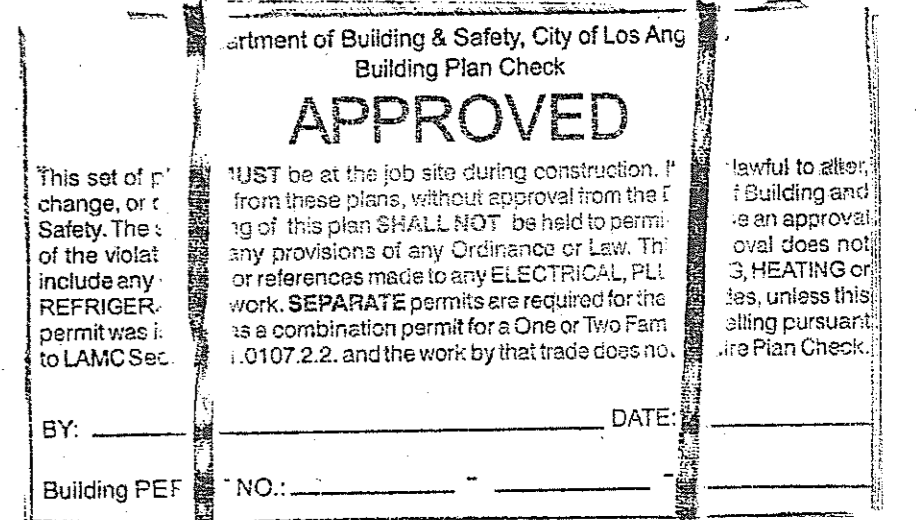
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1/4"=1'-0"

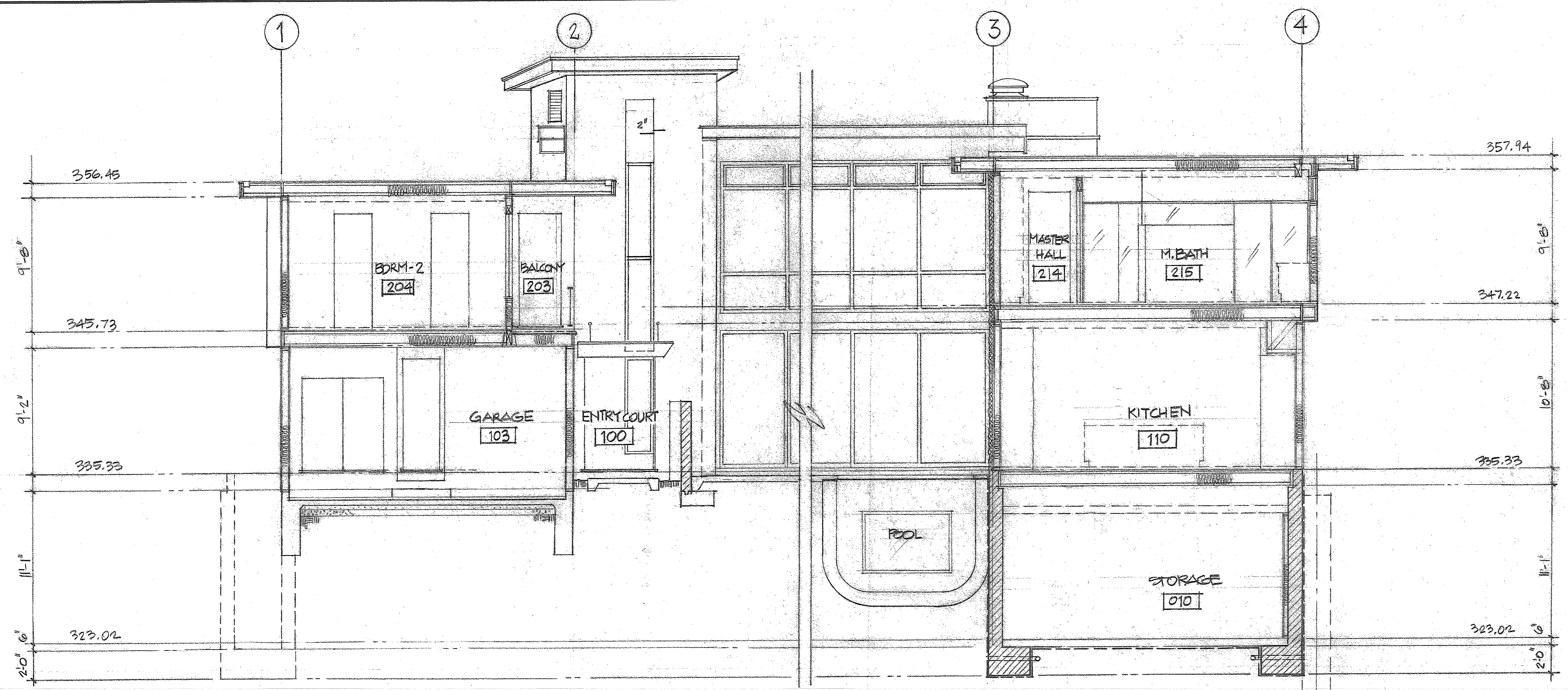


SECTION B-B

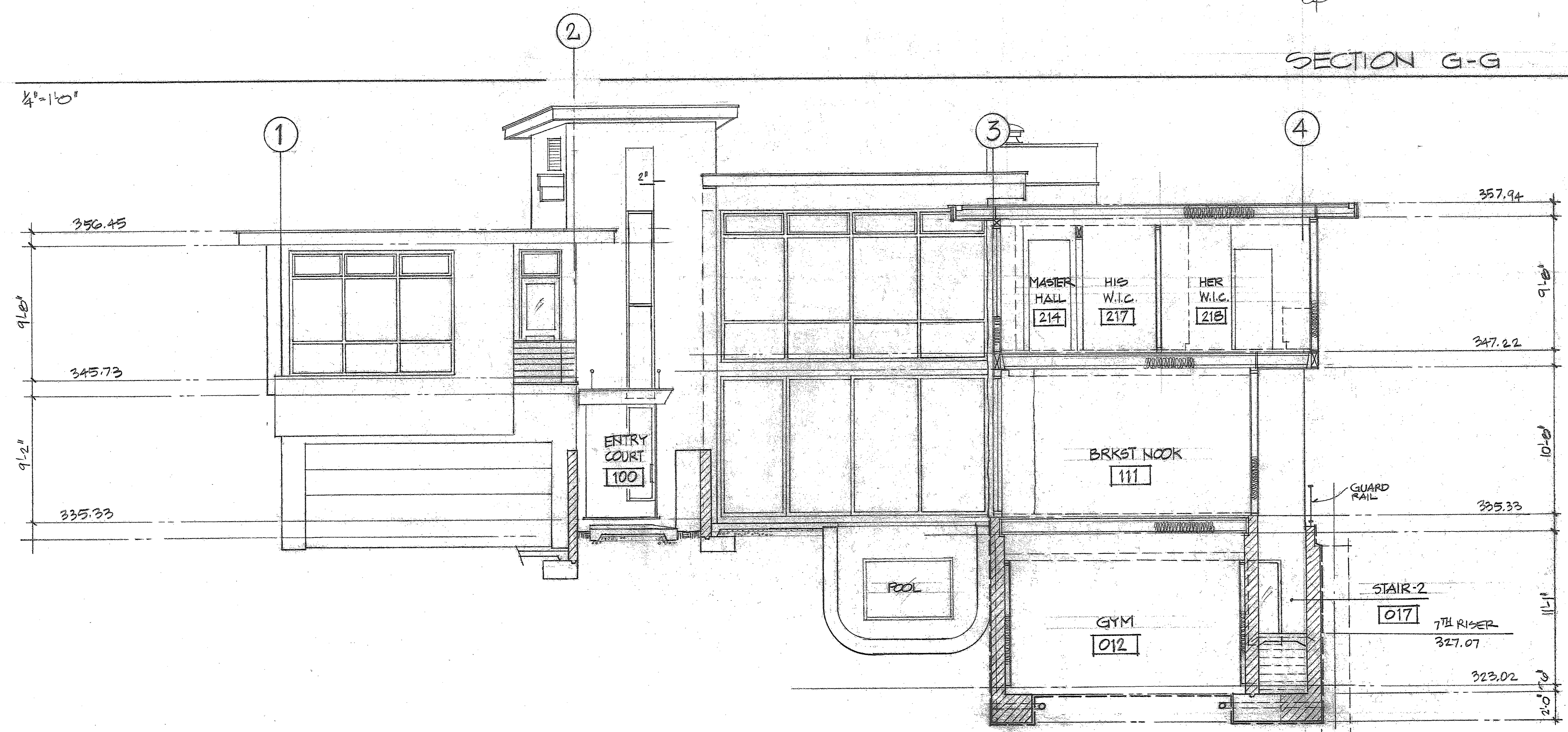
2



REVISIONS	BY



SECTION G-G



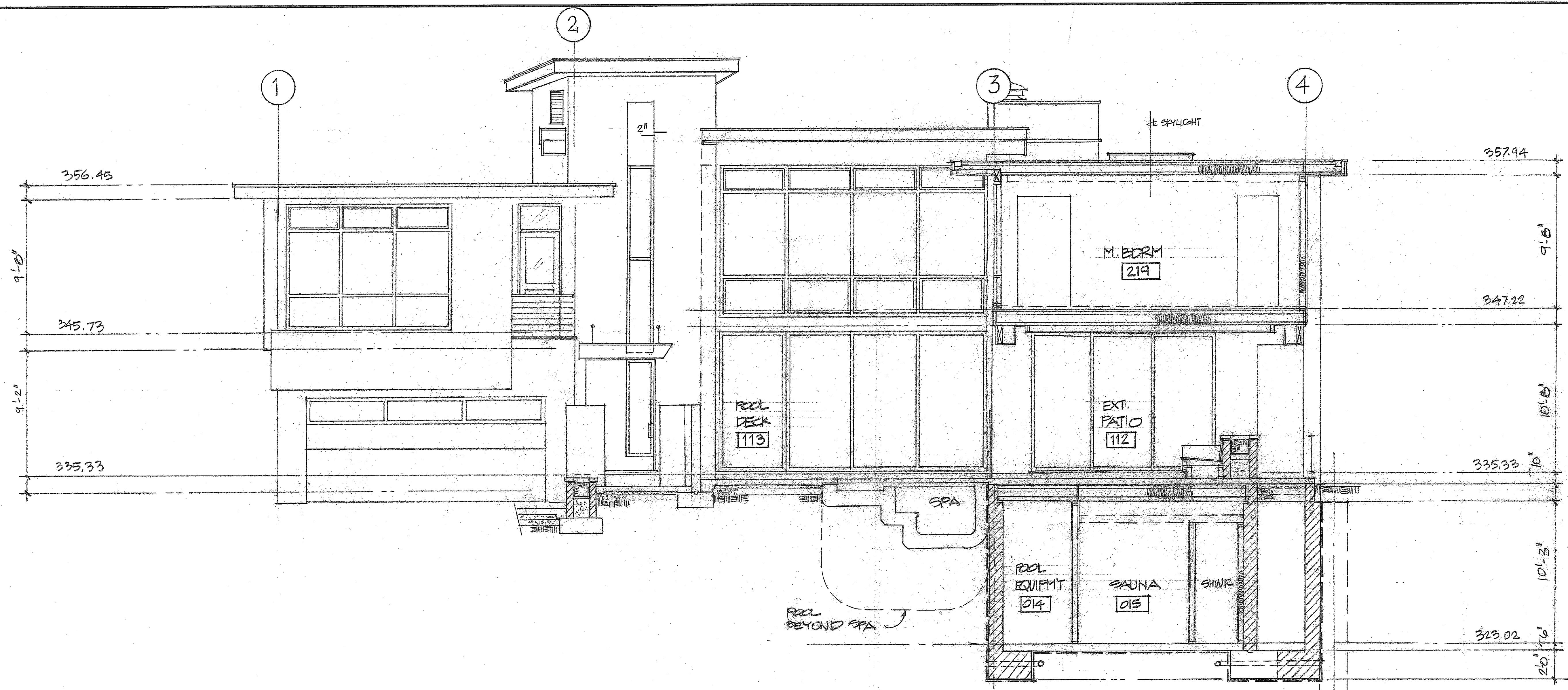
SECTION H-H

Department of Building & Safety, City of Los Angeles
 Building Plan Check
APPROVED
 This set of plans must be at all times during construction conform to the Building and Safety Department's approval of these plans. No changes or alterations shall be made without the written approval of the Building and Safety Department. If any changes or alterations are made, the contractor shall submit a separate set of plans for approval. This approval does not constitute a warranty of any kind. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies. The contractor shall also be responsible for obtaining all necessary approvals from the appropriate agencies.
 BY: _____ DATE: _____
 Building PERMIT NO. _____

Date 03-06-06
 Scale 1/4" = 1'-0"
 Drawn J. O.
 Job BEHREND 06
 Sheet
A-10
 of 10 Sheets

M

REVISIONS	BY



SECTION I-I

1

