

Scale /6 = 1-0" Drawn J.O. JOB BEHREND 04

**DECLARATION BY ARCHITECT OR ENGINEER OF RECORD** (required if the Structural Observer is

I, the Architect or Engineer of record for the project, declare that the above listed firm or individual is

C64574 5 22 06

different from the Architect or Engineer of Record)

designated by me to be responsible for the Structural Observation.

shackles and bolted, hardened steel hasps. 91.6715.2

Openings other than Doors or Glazed Openings:

dimension. 91.6716

Sliding windows shall be provided with a device in the upper channel of the moving panel to prohibit

Sliding windows shall be equipped with locking devices and shall be so constructed and installed that they

Any release for metal bars, grills, grates or similar devices constructed to preclude human entry that are

installed shall be located on the inside of the adjacent room and at least 24 inches from the closest

opening through such metal bars, grills, grates or similar devices that exceeds two inches in any

All other openings must be protected by metal bars or grilles with openings of not less than 6 inches in one

raising and removing of the moving panel in the closed or partially open position. 91.6715.1

remain intact and engaged when subjected to the tests specified in 91.6717.2

Inspection Group Name

of their source.

Community of LA, CA, Zip

b) call an additional preconstruction meeting, and

9. When the owner elects to change the structural observer of record, the owner shall:

furnish the replacement structural observer with a copy of all previous observation reports.

The replacement structural observer shall approve the correction of the original observed deficiencies unless otherwise approved by plan check supervision. The policy of the Department shall be to correct any property noted deficiencies without consideration

10. The engineer or architect of record shall develop all changes relating to the structural systems. The building department shall

a) notify the building inspector in writing before the next inspection

review and approve al changes to the approved plans and specifications.

REVISIONS B

Date 03-06-06

JOBBEHREND OC

depositions must be swept up immediately and may not be washed down by rain or by any other means.

As the project owner or authorized agent of the owner, I have read and understand the requirements, listed above,

necessary to control storm water pollution from sediments, erosion, and construction materials, and I certify that I will

(Owner or authorized agent of the owner)

Owner or authorized agent of the owner)

comply with these requirements.

artment of Building & Safety, City of Los Ar. **Building Plan Check** 

1ST be at the job site during achietruction

if this plan SHALL NOT be held to permit rovisions of any Ordinance or Law. T. references made to any ELECTRICAL, PL ork. SEPARATE permits are required for the. combination parmit for a One or Two Famil 0197.2.2, and the work by that trade designot

This set of t

Print Name | LIANA DEHREND

March 29, 2005

LADBS G-5 (Rev. 9/04)

FD- 2TRON PIPE 0.10'N, ON LINE E/W

FD SPIKE & WASHER / LS 6113, 0.05'E

SMH~BENCHMARK~

30 X 42 PRINTED ON NO. 1000H CLEARPRINT®



DEPARTMENT OF BUILDING AND SAFETY LOS ANGELES, CA 90012 ANDREW A, ADELMAN, P.E. RAYMOND CHAN

# SOIL REPORT APPROVAL LETTER

LOG # 47275 SOILS FILE - 2 LAN

MAY 7 6 2005

Illana Behrend 2312 Lyric Avenue Los Angeles, CA 90027

TRACT: 25553 LOT: LOCATION: 16943 Dulce Ynez Lane

CURRENT REFERENCE DATE(S) OF REPORT REPORT/LETTER(S) NO. DOCUMENT PREPARED BY Soil Report 5BEH038 03/22/2005 Sassan Geosciences, Inc. Soil Report 5BEH038 03/01/2005 Sassan Geosciences, Inc.

The referenced reports providing recommendations for the proposed single family residence have been reviewed by the Grading Division of the Department of Building and Safety. According to the report dated 03/01/2005, the project will consist of two-story structure constructed over a full basement and a swimming pool.

The site soils consist of up to 2 feet of uncertified fill underlain by natural sand. The sand, in turn, is underlain by bedrock. Grading for the project will consist of excavating the site for the proposed basement. The excavations will be approximately Grading for the project will consist of excavating the site for the proposed basement. The excavations will be approximately 10 feet in vertical height. Shoring may be required for the safe excavation. The report does not provide recommendations for the shoring design, therefore shoring is not approved at this time. The proposed foundation will be in bedrock.

The report dated 03/22/2005 states, that the site is flat, there are not slopes within the property and the distance from the property lines to the nearest slopes is approximately 100 feet. Based on the above, the consultants did not evaluate seismically-induced landsliding potential. This satisfies the requirement of State of California Public Resources Code, Section 2690 et, seq. (Seismic Hazard Mapping Act).

The reports are acceptable, provided the following conditions are complied with during site

87.53'
87.53'
87.53'

87.53'

Course

AN EQUAL EMPLOYMENT OPPORTUNITY - AFFIRMATIVE ACTION EMPLOYER

LAWN

### Page 2 16943 Dulce Ynez Lane

(Note: Numbers in parenthesis () refer to applicable sections of the 2002 City of LA Building Code. P/BC numbers refer the applicable Information Bulletin. Information Bulletins can be accessed on the internet at LADBS.ORG.)

- The soils engineer shall review and approve the detailed plans prior to issuance of any permit. This approval shall be by signature on the plans which clearly indicates that the soils engineer has reviewed the plans prepared by the design engineer and that the plans included the recommendations contained in his report.
- All recommendations of the reports which are in addition to or more restrictive than the conditions contained herein shall be incorporated into the plans.
- A copy of the subject and appropriate referenced reports and this approval letter shall be attached to the District Office and field set of plans. Submit one copy of the above reports to the Building Department Plan Checker prior to issuance of the permit (7006.1)
- A grading permit shall be obtained. (106.1.2)
- All man-made fill shall be compacted to a minimum 90 percent of the maximum dry density of the fill material per the latest version of ASTM D 1557. Where cohesionless soil having less than 15 percent finer than 0.005 millimeters is used for fill, it shall be compacted to a minimum of 95 percent relative compaction based on maximum dry density (D1556). Placement of gravel in lieu of compacted fill is allowed only if complying with Section 91.7011.3 of the Code.(7011.3)
- Adequate temporary erosion control devices acceptable to the Department, and if applicable the Department of Public Works, shall be provided and maintained during the rainy season. (7013.12) 1828 Sawtelle Blvd., 3<sup>rd</sup> Floor, West LA (310) 575-8625
- Grading shall be scheduled for completion prior to the start of the rainy season, or detailed temporary erosion control plans shall be filed in a manner satisfactory to the Grading Inspection Section of the Department and the Department of Public Works, Bureau of Engineering, B-Permit Section, for any grading work in excess of 200 cu yd. (7007.1) 1828 Sawtelle Blvd., 3<sup>rd</sup> Floor, West LA (310) 575-8625
- The applicant is advised that the approval of this report does not waive the requirements for excavations contained in the State Construction Safety Orders enforced by the State Division of Industrial Safety. (3301.1)
- A structure shall be considered surcharging an excavation if the structure is located within a horizontal distance from the top of the excavation equal to the depth of the excavation. (3301.2.3.2)
- 10. A supplemental report shall be submitted to the Grading Division of the Department containing recommendations for shoring, underpinning, and sequence of construction in

## 16943 Dulce Ynez Lane

- the event that any excavation would remove lateral support to the public way or adjacent structures. A plot plan and cross-section(s) showing the construction type, number of stories, and location of the structures adjacent to the excavation shall be part of the excavation plans. (7006.2)
- Prior to the issuance of any permit which authorizes an excavation where the excavation is to be of a greater depth than are the walls or foundation of any adjoining building or structure and located closer to the property line than the depth of the excavation, the owner of the subject site shall provide the Department with evidence that the adjacent property owner has been given a 30-day written notice of such intent to make an excavation. (3301.2.1)
- The applicant is advised that recommendations contained herein for excavated banks may also be subject to the regulations of the Department of Public Works, Bureau of Engineering. B-Permit Section. (3301) (213) 977-6063 201 N. Figueroa Street Room 770, LA
- 13. Unsurcharged temporary excavation may be cut vertical up to 5 feet. For excavations over 5 feet, the lower 5 feet may be cut vertically and the portion of the excavation above 5 feet shall be trimmed back at a gradient not exceeding 1:1 (horizontal to vertical), as
- 14. Footings shall derive entire support from bedrock, as recommenced.
- Slabs placed on approved compacted fill shall be at least 31/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced maximum of 16 inches on center each way. Concrete floor slabs placed on expansive soil shall be placed on a 4-inch fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 31/2 inches thick and shall be reinforced with 1/2-inch diameter (#4) reinforcing bars spaced maximum of 16 inches on center each way.
- 16. The LABC Soil Type underlying the site is S<sub>C</sub> and the minimum horizontal distance to known seismic sources shall be in accordance with the "Maps of Known Active Fault Near Source Zones" published by ICBO. (1636A)
- 17. Retaining walls up to 12 feet in the height and with a level backfill shall be designed for a minimum EFP of 35 PCF, as specified on page 5 of the report dated 03/01/2005.
- 18. All retaining walls shall be provided with a standard surface backdrain system and all drainage shall be conducted to the street in an acceptable manner and in a non-erosive device. (7013.11)
- 19. All retaining walls shall be provided with a subdrain system to prevent possible hydrostatic pressure behind the wall. Prior to issuance of any permit, the retaining wall subdrain system recommended in the soil report shall be incorporated into the foundation plan which shall be reviewed and approved by the soils engineer of record. (7015.5 & 108.9)

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DEPARTMENT OF BUILDING AND SAFETY Pre-Demolition Checklist Job Address: 16943 W Dulce Ynez Lane Type: Residential (BMI) Council District: 11A Plan Check No.: L14147 Census Tract: 2626.02 # of Bldgs to Demo:1

Description of Work: Demolish (E) House & Sewer Cap; Clear Lot Inspector / Phone:\* David Chan (310) 575-8965

Legit Checklist Print Exit

Inspection Date: 02/08/2006 Inspection Status:\* Complete 02/08/2006

PLOT PLAN OK as provided

SEWER INFORMA	ATION: Public	2		
SEWER CAP:	Requi	red		
PEDESTRIAN PRO	OTECTION: Fence			
•		•	-	,
BUILDING INFOR	MATION		•	
	Building #1	Building #2	Building #3	Building #4
Basement	Unknown			
Ext Wall Construction	Stucco			
No. of Stories	1			-
Height (ft)		<b>.</b>		
Type of Construction	V		•	

**ADDITIONAL COMMENTS** 

### City of Los Angeles - Department of Building and Safety GRADING PRE-INSPECTION REPORT

CD: 11 Grad Dist.: STGRDW14 Log No.: WL04787 Purpose: NEW 2 STORY SFD WITH BASEMENT AND Posting Date: 02/02/2006 Property Posted: Yes SWIMMING POOL. NEW RETAINING WALL AT FRONT OF THE GPI Fees Paid: Yes BLOCK: - LOT(S): 13 COUNTY REF. NO.: INSPECTORS REPORT OF FIELD CONDITIONS Bearing Value: PER SOILS REPORT pproved Graded Lot: No Buttress Fill: |Fill over 100 feet: No Natural Soil Classification Per Table 18.1.A Slope of Surface: Height: fl Expansive Soil: Yes Height: fi Slide Area: No Height: ft Natural: FLAT<sup>o</sup> PSDS Sized Per Code: No. Sewer Available:

Roof Gutters: Yes

to street

Recommended Termination of Drainage

Maximum Rough Grade Allowed: 20

Driveway Grade: % Proposed GRADING APPROVAL TO ISSUE PERMIT(S) OK TO ISSUE. SEE BELOW FOR COMMENTS.

X DO NOT ISSUE UNTIL BELOW REQUIREMENTS HAVE BEEN SATISFIED. CONDITIONS & REQUIREMENTS PRECEDENT TO ISSUING PERMIT

 A grading permit is required for excavation and backfill. 2. A retaining wall permit is required. .

Address: 16943 W Dulce Ynez Ln.

Condition of Street for Drainage Purposes

Site Above Street

- OSHA permit required for <u>vertical cuts 5 feet or over.</u> 4. All footings shall be founded in undisturbed natural soil per Code.
- 5. Comply with the provisions of Section 91.1804.4 for expansive soil conditions.
- 6. In the event excavations reveal unfavorable conditions, the services of a soils engineer and/or geologist may be required.

  7. Soils report(s) are required. Submit three copies (1 original and 2 copies), with appropriate fees, to the Grading Section for review X 8. Incorporate all recommendations of the approved report(s) and Department letters dated TO COME into the plans. Soils Engineer
- Site is subject to mudflow. Comply with provisions of Section 91.7014.3.
   Buildings shall be located clear of the toe of all slopes which exceed a gradient of 3 horizontal to 1 vertical as per Section 11. Footings shall be set back from the descending slope surface exceeding 3 horizontal to 1 vertical as per Section 91.1806.5.3.
- t. Swimming pools and spas shall be set back from descending and ascending slopes as per Section 91.1806.5.4. b. Department approval is required for construction of on or over slopes steeper than 2 horizontal to 1 vertical. X 14. Provide complete details of engineered temporary shoring or slot cutting procedures on plans. Call for inspection before excavation
- minimum. Drainage to be shown on the plans. X 16. A Registered Deputy Inspector is required for <u>SLOT CUTS OR SHORING</u>. 17. All fill or backfill shall be compacted by mechanical means to a minimum 90% relative compaction as determined by ASTM method D-1557. Subdrains shall be provided where required by Code.

  X 18. Specify on the plans: "The soils engineer is to approve the key or bottom and leave a certificate on the site for the grading inspecto

X 15. All concentrated drainage, including roof water, shall be conducted, via gravity, to the street or an approved location at a 2%

- The grading inspector is to be notified before any grading begins and, for bottom inspection, before fill is placed. Fill may not be placed without approval of the grading inspector."
- 9. Existing non-conforming slopes shall be cut back at 2:1 (26 degrees) or retained. 20. All cut or fill slopes shall be no steeper the 2:1 (26 degrees).
  21. Stake and flag the property lines in accordance with a licensed survey map.

22. Approval required by the Department of <u>PUBLIC WORKS</u> for <u>STREET CUTS</u>.

INITIAL GRADING INSPECTION REQUIRED

ADDITIONAL REQUIREMENT'S

 $http://10.8.3.38/dpi.nsf/aae407295dbb423d882567c90000a99c/79304f6ddd448065882571... \ 2/10/2006 \ http://10.8.3.38/gpi.nsf/029ecc330c820b3f88256bd5007ecfb7?OpenForm&ParentUNID=D... \ 3/3/2006 \ http://10.8.3.38/gpi.nsf/029ecc330c820b3f88256bd5007ecfb7?OpenForm&ParentUNID=D... \ http://10.8.3.38/gpi.nsf/029ecc330c82$ 

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# 16943 Dulce Ynez Lane

- 20. Installation of the subdrain system shall be inspected and approved by the soils engineer of record and the City grading/building inspector. (7015.5 & 108.9)
- 21. Basement walls and slab shall be waterproofed with an L.A. City approved "Below-grade waterproofing" material with a research report number.
- 22. Prefabricated drainage composites (Miradrain) (Geotextiles) may be only used in addition to traditionally accepted methods of draining retained earth.
- 23. The proposed swimming pool shall be designed for a freestanding condition.
- 24. Pool deck drainage shall be collected and conducted to an approved location via a nonerosive device. (7013.10)
- 25. The dwelling shall be connected to the public sewer system. (P.BC 2001-27).
- 26. All roof and pad drainage shall be conducted to the street in an acceptable manner. (7013.10)
- 27. Soil engineer shall inspect the excavations for the footings to determine that they are founded in the recommended strata before calling the Grading Division of the Department for footing inspection. (Code Section 91.7008)
- 28. Prior to the pouring of concrete, a representative of the consulting soils engineer shall inspect and approve the footing excavations. He shall post a notice on the job site for the LADBS Building Inspector and the Contractor stating that the work so inspected meets the conditions of the report, but that no concrete shall be poured until the City Building Inspector has also inspected and approved the footing excavations. A written certification to this effect shall be filed with the Grading Division of the Department upon completion of the work. (108.9 & 7008.2)
- 29. Prior to excavation, an initial inspection shall be called with LADBS Inspector at which time sequence of shoring, protection fences and dust and traffic control will be scheduled.
- 30. Prior to the placing of compacted fill, a representative of the soils engineer shall inspect and approve the bottom excavations. He shall post a notice on the job site for the City Grading Inspector and the Contractor stating that the soil inspected meets the conditions of the report, but that no fill shall be placed until the LADBS Grading Inspector has also inspected and approved the bottom excavations. A written certification to this effect shall be included in the final compaction report filed with the Grading Division of the Department. All fill shall be placed under the inspection and approval of the soils engineer. A compaction report together with the approved soil report and Department approval letter shall be submitted to the Grading Division of the Department upon completion of the compaction. In addition, an Engineer's Certificate of Compliance with the legal description as indicated in the permit shall be included. (7011.3)

## Page 5 16943 Dulce Ynez Lane

No footing/slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

REVISIONS BY

If compacted fill is to support the slab-on-grade, no slab shall be poured until the compaction report is submitted and approved by the Grading Division of the Department.

ANDRZE T. SZPIKOWSKI Geotechnical Engineer II

ATS/ats 47275 (213) 482-0480

Sassan Geosciences, Inc WLA District Office

PREVENTION OF DUST SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 91.108.13 OF THE BUILDING CODE

FOR NEW WORK.

DEMOLITION NOTES

3. SHOULD A DANGEROUS CONDITION DEVELOP DURING THE DEMOLITION OF A STRUCTURE, THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY BARRICADE THE DANGEROUS AREA, NOTIFY DEPARTMENT OF BUILDING AND SAFETY AND TAKE IMMEDIATE STEPS TO MINIMIZE THE HAZARD. NO FURTHER DEMOLITION WORK SHALL BE DONE UNTIL APPROVAL TO PROCEED IS GIVEN BY THE DEPARTMENT OF BUILDING AND SAFETY.

4. BEFORE REMOVING ANY VEGETATION CONSULT WITH THE LANDSCAPE ARCHITECT.

L. PROVIDE PROTECTIVE BARRIER AROUND WORK AREA.

2. THE STORAGE AND HANDLING OF MATERIAL AND THE

- 5. REMOVE EXISTING RETAINING WALLS PER SOILS ENGINEER RECOMMENDATION.
- 6. OWNER SHALL RESERVE THE RIGHT TO TAKE POSSESSION OF ANY OR ALL SALVAGEABLE ITEMS DURING DEMOLITION. ALL OTHER UNDESIRABLE ITEMS SHALL BE REMOVED FROM THE SITE.

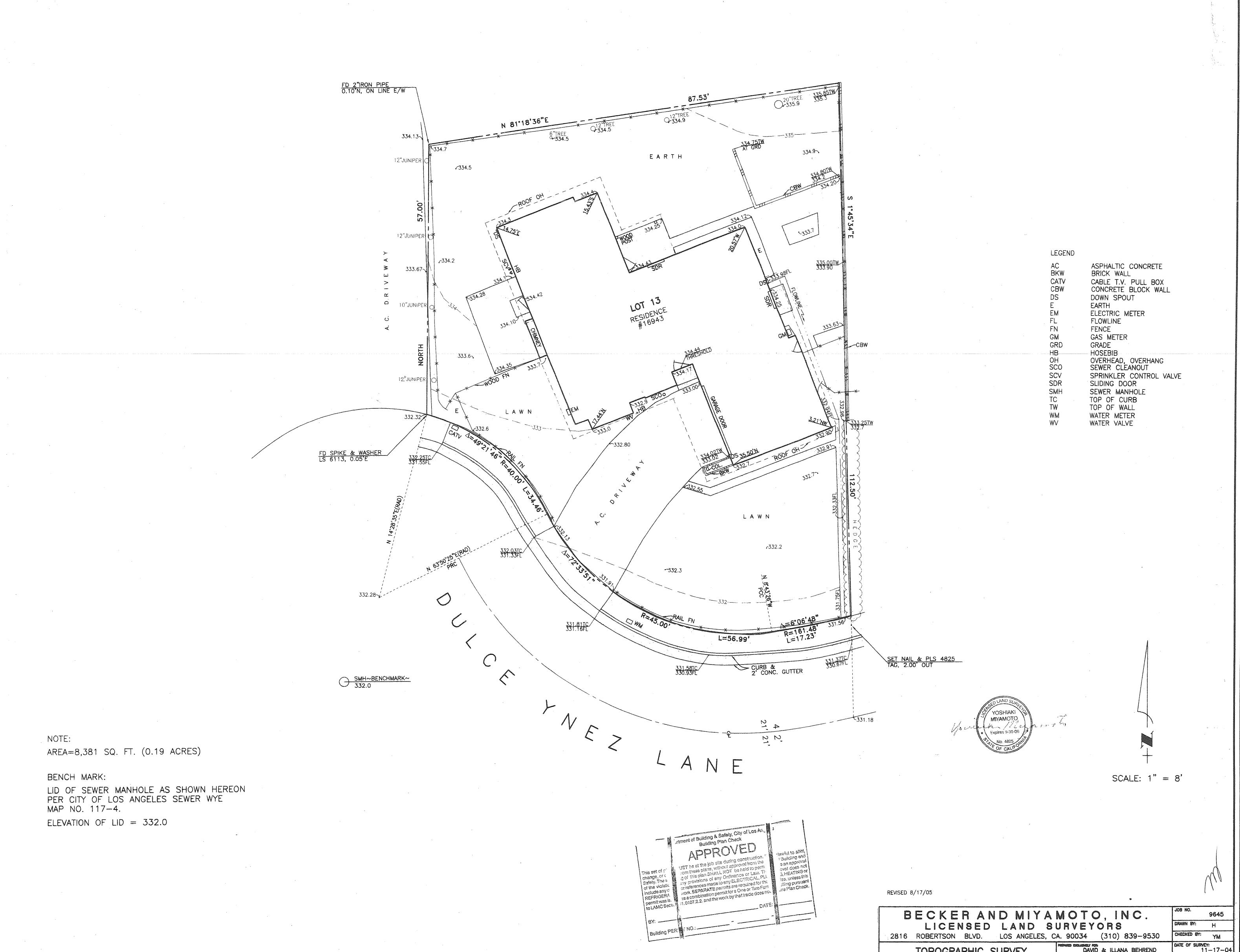
PROTECT TREES DURING DEMOLITION AND CONSTRUCTION.

20' OF LARGE CENTRAL ELM TREE. 8. REFER TO ARCHITECTURAL, STRUCTURAL, CIVIL, AND LANDSCAPE DRAWINGS TO COORDINATE DEMOLITION REQUIRED

CONSULT WITH LANDSCAPE ARCHITECT BEFORE DIGGING WITHING

artment of Building & Safety, City of Los A. Building Plan Check UST be at the job site during constructio. Joi this pian SHALL NOT be held to perm ny provisions of any Ordinance or Law. 1. references made to any ELECTRICAL, P. rork. SEPARATE permits are required for the s a combination parmit for a One or Two Fam. 0107.2.2, and the work by that trade does not

Date 03-06-06



DAVID & ILLANA BEHREND TOPOGRAPHIC SURVEY
LOT 13
OF TRACT NO. 25553, M.B. 683-7/8

Date 05-06-06

The following notes (items) represent the MANDATORY REQUIREMENTS for all buildings and shall appear as notes on the plans. A) The person with overall responsibility for construction or the person responsible for the Installation of regulated manufactured devices shall post, or make available with the building permit(s) issued for the building, the installation Certificate(s) for manufactured devices regulated by the Appliance Efficiency Regulations or Part 6, Such Installation Certificate(s) shall be made available to the enforcement agency for all appropriate inspections. These certificates shall: Identify features required to verify compliance with the Appliance Efficiency Regulations. ii) Include a statement indicating that the installed devices conform to the Appliance Standards and Part 6 and the requirements for such devices given in the plans and specifications approved by the local enforcement agency. (II) State the number of the building permit under which the construction or installation was performed. B) After installing well, ceiling, or floor insulation, the installer shall make available to the enforcement agency or post in a conspicuous location in the building a certificate signed by the Installer stating that the installation is consistent with the plans and specifications described in Section 10-103(a)2A. The certificate shall also state the manufacturer's name, material identification, and the installed R-value. C) The builder shall provide the building owner, manager, and the original occupants the appropriate Certificate(s) of Compliance and a list of the features, materials, components, and mechanical devices installed in the building, and instructions on how to use them efficiently. D) Manufactured fenestration products and exterior doors shall; 1. Have a temporary label (or label certificate for site-bullt fenestration) meeting the requirements of Section 10-111 (a) 1, not to be removed before inspection by the enforcement agency, listing the certified U-factor and SHGC, and certifying that the air leakage requirements of Section 116 (a) 1 are met for each product line; and 2. (b) Installation of Fleid-fabricated Fenestration and Exterior Doors. Fleid-fabricated fenestration and field-fabricated exterior doors may be installed only if the compliance documentation has demonstrated compliance for the Installation using Ufactors from TABLE 116-A and SHGC values from TABLE 116-B. Fleid-fabricated fenestration and field-fabricated exterior doors shall be caulked between the fenestration products or exterior door and the building, and shall be weatherstripped. Bulldings with 10,000 or more square feet of vertical glazing shall have no more than 1,000 square feet of field-fabricated fenestration. EXCEPTION to Section 116 (b): Unframed glass doors and fire doors need not be weatherstripped or caulked E) Fleid fabricated skylights and windows, and exterior doors, shall be caulked between the fenestration product and the building, and shall be weather-stripped. EXCEPTION: Unframed glass doors and fire doors. F) Joints and other openings in the building envelope that are potential sources of air leakage shall be caulked, gasketed, weather-stripped, or otherwise sealed to limit infiltration and exfiltration. G) All insulating material shall be installed in compliance with the flamespread rating smoke density requirements of the UBC. H) Heat pumps with supplementary electric resistance heaters shall have controls: 1. That prevent supplementary heater operation when the heating load can be met by the heat pump alone; and 2. In which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating. l) Masonry or factory-built fireplaces shall have the following: 1.. Closeable metal or glass doors covering the entire opening of the firebox. 2. A combustion air intake to draw air from the outside of the building directly into the firebox, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight fitting damper or combustion air control device. EXCEPTION; Not required if fireplace is installed over a concrete slab and will not be located on an exterior wall. A flue damper with a readily accessible control. EXCEPTION: When a gas log, log lighter, or decorative gas appliance is installed in a fireplace, the flue damper shall be blocked open if required by the CMC or the manufacturer's installation instructions. 4. Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited. J) All heating and/or cooling systems other than wood stoves shall have an automatic thermostat with a clock mechanism or other setback mechanism that shuts the system off during periods of non-use and that allows the building occupant to automatically set

back the thermostat set points for at least 2 periods within 24 hours. Setback thermostats for heat pumps shall meet the requirements of section 112 (b).

K) All air-distribution system ducts and plenums, including, but not limited to, mechanical closets, and air-handler boxes, shall be installed, sealed and insulated to meet the requirement of the 2001 CMC Sections 601, 603, 604, and Standard 6-3 incorporated herein by reference. Portions conveying conditioned air shall either be insulated to a minimum installed level of R-4.2 (or any higher level required by CMC Section 604) or be enclosed entirely in conditioned space. Connections of metal ducts and the inner core of flexible ducts shall be mechanically fastened. Openings shall be sealed with mastic, tape, aerosol sealant, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B. If mastic or tape is used to seal openings greater than 1/2 inch, the combination of mastic and either mesh or tape shall

Building cavities, support platforms for air handlers, and plenums defined or constructed with material other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross sectional area of the ducts.

Sec. 10-103 (a) 3 A

Sec.: 10-103 (a) 4

Sec. 10-103 (c) (1)

Sec. 118 (c)

L) All fan systems, regardless of volumetric capacity, that exhaust air from the building to the outside shall be provided with backdraft or automatic dampers to prevent air

leakage. Sec. 150 (m) 7 M) Storage gas water heaters with an energy factor < 0.58 shall be externally wrapped with

insulation having installed thermal resistance of R-12 or greater. Sec. 150 (j) 1A N) Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water heating systems, shall be externally wrapped with insulation having an installed thermal

resistance of R-12 or greater or have internal insulation of at least R-16 and a label on the exterior of the tank showing the insulation R-value. Sec. 150 (j) 1B O) Duct system openings shall be sealed with mastic, tape, aerosol sealant, or other duct

closure system that meets the applicable requirements of UL 181, UL 181A, UL181B or aerosol sealant that meets the requirements of UL 723 connections and splices. If mastic tape is used to seal openings greater than 1/2 inch, the combination of mastic and either mesh or tape shall be used. Sec. 150 (m)

Sec. 150(m)

P) Building cavities shall not be used for conveying conditioned air.

Q) Joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and drawbands. Sec. 150 (m)

R) Piping, buried or unburied, for recirculating sections of domestic hot water systems. piping from the heating source to the storage tank for an indirect-fired domestic water heating system, cooling system piping, and the first five feet of hot and cold water pipes from the atorage tank for non-recirculating systems; and cooling system lines shall be thermally insulated in accordance with subsection A. Piping for steam and hydronic heating systems or hot water systems with pressure above 15 palg shall meet the requirements inTABLE 123-A.

A. For insulation with conductivity in the range shown in TABLE-160-A for the applicable fluid temperature range, the insulation shall have the applicable thickness shown in TABLE 150-B.

S) In climate zones 14 and 16 a vapor barrier\*\* shall be installed on the conditioned space side of all insulation in all exterior walls, un-vented attics, and invented crawl spaces to protect insulation from condensation. \*\* Vapor Barrier - A Material that has a permeance of 1 perm or less and that provides resistance to the transmission of water vapor.

Residential Lighting: 1. High Efficacy Luminaires. High Efficacy Luminaires for residential lighting shall contain only high efficacy lamps and shall not contain a medium screw base socket (E24/E26). A high efficacy lamp has a lamp efficacy that is no lower than the efficacles contained in TABLE 150-C. Ballasts for lamps rated 13 Watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.

EXCEPTION to Section 150 (k) 1: High Intensity discharge luminaires containing hardwired electromagnetic ballasts in medium screw base sockets shall be considered high efficacy luminaires for the purposes of meeting Section 150 (k) 6, provided they meet the efficacles contained in TABLE 150-C.

NOTE: To determine the minimum lamp efficacy category only the watts of the lamp (not the ballast) are to be considered. 2. Lighting in Kitchens. Permanently installed luminaires in kitchens shall be high

EXCEPTION to Section 150 (k) 2: Up to 50 percent of the total rated wattage of permanently installed luminaires in kitchens may be in luminaires that are not high efficacy luminaires, provided that these luminaires are controlled by switches separate from those controlling the high efficacy luminaires. The wattage of high efficacy luminaires shall be the total nominal rated wattage of the installed high

efficacy lamp(s). The waitage of luminaires shall be determined as specified by

		Т		MAL A	ND C	IDOW OPTIC. THOUT	AL R	OOR ATINO	S				
		CLR/CLR CLR/GRAY CLR/BRZ CLR/LOW-EI U-VALUE											
SERIES ·		SHGC	VT	SHOC	ΥT	SHOC	٧T	SHOC	٧٢		LOW-E		
				*************	ÄLUM	ÏÑUM:				**********			
4600 XO	WGRID	.63	.61	.49	.41	.53	.45	.35	.53	.75	.60		
	W/O	.68	.68	.53	.45	.57	.50	.38	.59	.75	:60		
	WGRID	.62	.60	.46	.40	.52	.44	.36	.53 ·	.75	.60		
4700 SH	W/O	.67	.67	.52	.44	.56	.49	.39	.59	.75	.60		
·	WGRID	.65	.68	.50	.45	.54	.50	.36	.60	.58	.40		
4602 PW	W/O .	.71	.75	.54	.50	.59	.55	.39	.66	.58	.40		
	WORID	.53	,50	.42	,33	.45	.37	.30	.43	.73	.60		
4100 CR	W/O	.57	.55	.45	,36	.48	.41	.32	.48	.73	.60		
	WORID	.53	.50	.42	.33	.45	.37	.30	:43	.73	.60		
4300 A	W/O	.57	55	.45	.36	.48	.41	.32	.48	.73	.60		
	WORLD	.65	.64	.50	.42	.54	.47	.37	.56	.75	.59		
9400 XO HGC - So	W/O	.71	.71	.55	.47	.59	.52	41	.62	.75	.59		

3. Lighting in Bathroom, Garages, Laundry Rooms, and Utility Rooms. Permanently Installed luminaires in bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires.

EXCEPTION to Section 150 (k) 3: Permanently installed luminaires that are not high efficacy shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with Section 119 (d). Such motion sensors shall not have a control that allows the luminaire to be turned on automatically or that has an override allowing the luminaire to be always on.

4. Lighting other than in Kitchens, Bathrooms, Garages, Laundry Rooms, and Utility Rooms. Permanently installed luminaires located other than in kitchens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires.

EXCEPTION 1 to Section 150 (k) 4: Permanently installed luminaires that are not high efficacy luminaires shall be allowed provided they are controlled by a dimmer

EXCEPTION 2 to Section 150 (k) 4: Permanently installed luminaires that are not high efficacy shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with Section 119 (d). Such motion sensors shall not have a control that allows the luminaire to be turned on automatically or that has an override allowing the luminaire to be always on.

EXCEPTION 3 to Section 150 (k) 4: Permanently installed luminaires that are not high efficacy luminaires shall be allowed in closets less than 70 square feet.

> NOTE: Lighting in areas adjacent to the kitchen, including but not limited to dining and nook areas, are considered kitchen lighting if they are not separately switched from kitchen lighting.

5. Recessed Luminaires in insulated Cellings. Luminaires recessed into insulated cellings shall be approved for zero clearance insulation cover (IC) by Underwriters Laboratories or other testing/rating laboratories recognized by the International Conference of Building Officials, and shall include a label certifying air tight (AT) or similar designation to show air leakage less than 2.0 CFM at 75 Pascals (or 1.57 lbs/ft2) when tested in accordance with ASTM E283, and shall be sealed with a gasket or caulk between the housing and celling.

6. Outdoor Lighting. Luminaires providing outdoor lighting and permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy luminaires.

EXCEPTION 1 to Section 150 (k) 6: Permanently Installed outdoor luminaires that are not high efficacy shall be allowed provided that they are controlled by a motion sensor(s) with integral photocontrol certified to comply with Section 119 (d).

EXCEPTION 2 to Section 150 (k) 6: Permanently installed luminaires in or around swimming pools, water features, or other locations subject to Article 680 of the California Electric Code need not be high efficacy luminaires.

7. Parking Lots and Garages. Lighting for parking lots for eight or more vehicles shall comply with the applicable requirements in Sections 130, 132 and 147. Lighting for parking garages for eight or more vehicles shall comply with the applicable regulrements in Sections 130, 131, and 146.

8. Common Areas of Low-rise Residential Buildings. Permanently Installed lighting In the enclosed, non-dwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires.

EXCEPTION to Section 150 (k) 8: Permanently installed luminaires that are not high efficacy shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with Section 119 (d).

Sec. 150 (k)

I permit was is:

.U) Any new low-rise residential building shall meet the following requirements:

1. Ceiling Insulation. The opaque portions of ceilings separating conditioned spaces from unconditioned spaces or ambient air shall meet equivalent U-factor resulting from installing R-19 insulation between wood framing members (Ufactor = Q.051).

2. Loose Fill Insulation. When loose fill insulation is installed, the minimum installed weight per square foot shall conform to the insulation manufacturer's installed design weight per square foot at the manufacturer's labeled R-value.

3. Wall insulation: The opaque portions of walls separating conditioned spaces from unconditioned spaces or ambient air shall meet equivalent U-factor resulting from Installing R-13 insulation between wood framing members (U-factor = 0.088).

4. Raised Floor Insulation. The raised floor separating conditioned spaces from unconditioned spaces or amblent air shall meet equivalent U-factor resulting from Installing R-13 insulation between wood framing members (U-factor = 0.064).

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		CLR	/CLR	CLR	GRAY	CLR	UBRZ	CLR/L	OW-EI	U-VALUE		
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4400.040	WGRID	.52	,53	.40	.35	.43	.39	(.34)	.47	.47	(.34	
5600 XO	W/O	.57	.59	.44	.40	.47	.44	.37	.53	.47	.33	
1200 CIL	WGRID	.52	.53	.39	.35	.43	.39	.33	.47	.47	.34	
5700 SH	W/O	,57	.59	,43	.39	.47	.44	37	.53	.47	.34	
	WGRID	.55	.56	.41	.37	.45	.41	.29	.49	.49	.35	
8600 XO	W/O	.60	.58	.46	.38	.49	.43	.32	.50	.49	.35	
	WGRID	.55	.56	.42	.37	.45	.42	.29	.49	.49	.34	
8700 SH	W/O	.61	.63	.46	.42	.50	.46	.32	.55	.49	.34	
8602 PW	WGRID	.61	.63	.46	.42	.50	.47	.32	.55	.48	.32	
4002 FW	W/O	.67	.70	.50	.47	.55	,52	.35	.62	.48	.32	
8900 DH	WGRID	.50	.51·	.39	.34_	.42	.38	.33	.45	.50	.35	
מכן ממגפ	W/O	.56	.57	.42	,38	.46	.42	.36	.51	.49	.36	
7100 CR	WGRID	.45	.46	.35	.31	.37	.34	.24	.40	.42	.32	
VIOU CK	W/O	.50	.51	.38	.34	.41	.37	.26	.44	.44	.33	
4 0000	WGRID	.45	.46	35	.31	.37	.34	.24	.40	.43	.32	
7300 A	W/O	.50	.51	.38	.34	.41	.37	.26	.44	.44	.33	
9300 XX	WGRID	.65_	.64	.50	.42	.54_	.47	.36	.56	.49	.38	
እንመ <b>ሂ</b> ጀ	W/O	.71	.71	.55	.47	.59	.52	.41	.63	.49	.38	
-000 VC	WORID	.56	.58	.43	.39	.47	.43	.29	.51	.49	.34	
OX 008;	W/O	.62	.65	.47	.43	.51	.48	.32	.57	.49	.34	

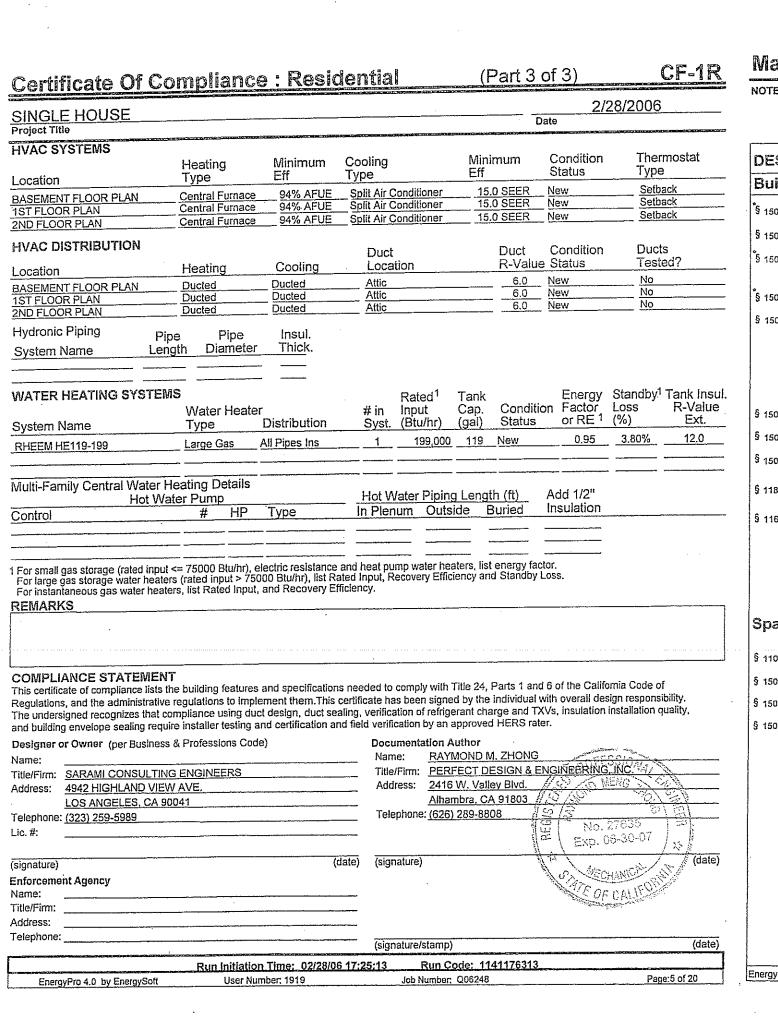
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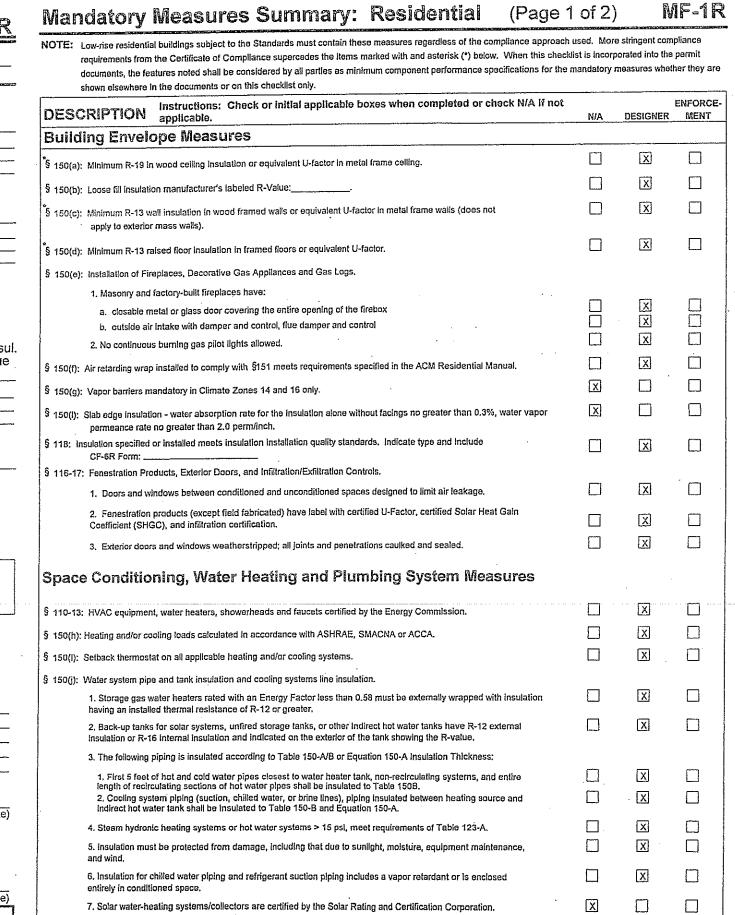
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Project Address PERFECT	DECION	0 ENI/	DINIEEDI	NG IN	Ċ.		(620	6) 289-8808	_	
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EnergyPro Compilance Meti							CII	6 mate Zone	Field Check/Date	
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Space Heating	g		6.12		6.8		-0.69			
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Fans			1.03		2.5		1.14			
Domestic Hot	Water		3.72		0.0		0.0			
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Totals	<b>;</b>		14.75		12.7	<u>_</u>				
Percent better							13.89		Th B 650 E 2 650 B A 65	Name than the Party
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Building Type	: X	Single F	amily [	Addition			Total Co	nditioned Floo	r Area:	7,342 ft <sup>2</sup>
		Multi Fa	mily [	] Existing	3 + Add/	Alt	-	Floor Area:		n/a ft <sup>2</sup>
<b>Building Fron</b>	t Orientati	on:	(\$	South) 18	l0 deg			Floor Area:		955 ft <sup>2</sup>
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	31.4%	•	Avg. SH		0.34			of Stories:		3
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			<u> </u>	2,567 2 142	28,2 22.9		0.35_ <u> </u>	Conditioned Conditioned	Setback Setback	8 _
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1ST FLOOR PLA 2ND FLOOR PLA	N N			2,142 2,633	22,9	19 <u> </u>	0.29 0.36	Conditioned Conditioned	Setback	
1ST FLOOR PLA 2ND FLOOR PLA OPAQUE SUF	RFACES	U-Fac	Insulation Cay. Con	2,142 2,633 Act.	22,9	19 <u> </u>	0.29 0.36 ————————————————————————————————————	Conditioned Conditioned	Setback Setback	8
1ST FLOOR PLA 2ND FLOOR PLA OPAQUE SUF Type Frame	RFACES e Area		Cav. Co.	2,142 2,633 n Act. nt. Azm.	22,9 25,5	19 40 Gain: Y/N	0.29 0.36 ————————————————————————————————————	Conditioned Conditioned	Setback Setback	8 / Commen
1ST FLOOR PLA 2ND FLOOR PLA OPAQUE SUF Type Frame Roof Wood	RFACES e Area 312	_0.035		2,142 2,633 n Act. nt. Azm.	22,9 25,5	19 40 Gain: Y/N	0.29 0.36 SCONDITION Status	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5	Setback Setback Location NEW BASEME	8 / Commen
1ST FLOOR PLA 2ND FLOOR PLA OPAQUE SUF Type Frame Roof Wood	RFACES e Area	0.035 0.089 1.450	Cav. Cor R-30 R-0 None R-13 None R-0	2,142 2,633 n Act. nt. Azm. 10 0 80 270	22,9 25,5 	19 40 Gain: Y/N	0.29 0.36 Scondition Status New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1	Setback Setback Location NEW BASEMEI NEW BASEMEI	8 / Commen
1ST FLOOR PLA 2ND FLOOR PLA 2ND FLOOR PLA OPAQUE SUF Type Frame Roof Wood Wall None Door None Wall None	RFACES e Area 312 687 24 690	0.035 0.089 1.450 0.089	Cav. Col R-30 R-0 None R-1 None R-1 None R-1	2,142 2,633 n Act. nt. Azm. 10 0 10 270 10 270 10 90	22,9 25,5 	19 40 Gain: Y/N XI [ XX [	0.29 0.36 Status New New New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5	Setback Setback Location NEW BASEMEI NEW BASEMEI NEW BASEMEI	8 / Commen NT FLR NT FLR NT FLR NT FLR
1ST FLOOR PLA 2ND FLOOR PLA 2ND FLOOR PLA 2ND FLOOR PLA 2ND FLOOR PLA Type Frame Roof Wood Wall None Door None None None	RFACES e Area 312 687 24 690 24	0.035 0.089 1.450 0.089 1.450	Cav. Cor R-30 R-0 None R-1 None R-1 None R-1	2,142 2,633 n Act. nt. Azm. 10 0 10 270 10 270 10 90	22,9 25,5 	19 40 Gain: Y/N XI [ XX [	0.29 0.36 Scondition Status New New New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1	Setback Setback Location NEW BASEMEI NEW BASEMEI NEW BASEMEI NEW BASEMEI	8 / Commen NT FLR NT FLR NT FLR NT FLR NT FLR NT FLR
1ST FLOOR PLA 2ND FLOOR PLA 4NOOD PLA 4N	RFACES e Area	0.035 0.089 1.450 0.089 1.450 0.089	R-30 R-1 None R-1 None R-1 None R-1 None R-1 None R-1	2,142 2,633 A Act. ht. Azm. 00 0 00 270 00 270 00 90 00 90	22,9 25,5  Tilt 22 90 90 90 90	19 40 Gain: Y/N XI [ XX [	0.29 0.36 Status New New New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5	Setback Setback Location NEW BASEMEI NEW BASEMEI NEW BASEMEI	8 I / Commen NT FLR
1ST FLOOR PLA 2ND FLOOR PLA 2ND FLOOR PLA 2ND FLOOR PLA 2ND FLOOR PLA 4NOOD 4N	RFACES e Area 312 687 24 690 24 813 0 776	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.089	Cav. Col R-30 R-6 None R-13 None R-1 None R-1 None R-1 None R-1 None R-1 None R-1	2,142 2,633 Act. Azm. 0,0 0 3,0 270 0,0 270 0,0 90 0,0 90 0,0 0	22,9 25,5 Tilt 22 90 90 90 90 90	19 — Gain: Y/N X C X C X C X C X C X C X C X C X C X	0.29 0.36 Status New New New New New New New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5	Setback Setback Location NEW BASEMEI	8
1ST FLOOR PLA 2ND FLOOR PLA 3NOOD	RFACES e Area 312 687 24 690 24 813 0 776	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.089	Cav. Col R-30 R-1 None R-13 None R-1	2,142 2,633 Act. nt. Azm. 10 0 30 270 10 270 10 90 10 90 10 90 10 180	22,9 25,5 Tilt 22 90 90 90 90 90	19 — Gain: Y/N X C X C X C X C X C X C X C X C X C X	0.29 0.36 Status New New New New New New New New New	Conditioned Conditioned  DI  JA IV Referen  02-A10  13-F5  28-A1  13-F5  28-A1  13-F5  28-A1  13-F5  28-A1  13-F5  28-A1	Setback Setback Setback Location NEW BASEMEI	A Commen
1ST FLOOR PLA 2ND FLOOR PLA 3NOOD	RFACES e Area 312 687 24 690 24 813 0 776 0	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.089 1.450	Cav. Col R-30 R-1 None R-1 R-1 R-30 R-1	2,142 2,633 A Act. nt. Azm. 0,0 0 3,0 270 0,0 270 0,0 90 0,0 90 0,0 0 1,0 180 0,0 180	22,9 25,5 Tilt 22 90 90 90 90 90 90	19 — Gain: Y/N X C X C X C X C X C X C X C X C X C X	0.29 0.36 Status New New New New New New New New New New	Conditioned Conditioned  DI  JA IV Referen  02-A10  13-F5  28-A1  13-F5  28-A1  13-F5  28-A1  13-F5  28-A1  13-F5  28-A1  13-F5  28-A1  13-F5	Setback Setback Setback Location NEW BASEMEI	A Commen
OPAQUE SUF Type Frame Roof Wood Wall None Door None Wall None Roof Wood Wall Wood	RFACES e Area 312 687 24 690 24 813 0 776 0 464 492	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.089 1.450 0.035	Cav. Col R-30 R-1 None R-1 R-13 R-1 R-13 R-1	2,142 2,633 Act. Azm. 10 0 10 270 10 270 10 90 10 90 10 90 10 180 10 180 10 180 10 270	22,9 25,5 Tilt 22 90 90 90 90 90 90 90	19 — Gain: Y/N XX C XX	0.29 0.36 Status New New New New New New New New New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 02-A10 09-A3	Setback Setback Setback Location NEW BASEMEI	I / Commen
1ST FLOOR PLA 2ND FLOOR PLA 3NOOD	RFACES e Area 312 687 24 690 24 813 0 776 0 464 492	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.089 1.450 0.035 0.102	Cav. Col R-30 R-1 None R-13 None R-1 None R-1 None R-1 None R-1 None R-1 None R-1 R-30 R-1 R-13 R-1 R-13 R-1	2,142 2,633 Act. Azm. 10 0 270 10 270 10 90 10 90 10 180 10 180 10 270 10 90 10 90	22,9 25,5 Tilt 22 90 90 90 90 90 90 90	19 — Gain: Y/N XX	0.29 0.36 Status New New New New New New New New New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 02-A10 09-A3 09-A3	Setback Setback Setback Location NEW BASEMEI NEW 1ST FLOO	I / Commen  NT FLR  OR  OR
1ST FLOOR PLA 2ND FLOOR PLA 3NOOD 3NOO	RFACES e Area 312 687 24 690 24 813 0 776 0 464 492	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.035 0.035 0.102 0.102	Cav. Col R-30 R-1 None R-1 R-13 R-1 R-13 R-1	2,142 2,633 Act. Azm. 10 0 270 10 270 10 90 10 90 10 180 10 180 10 270 10 270 10 90 10 90 10 90	22,9 25,5 Tilt 22 90 90 90 90 90 90 90 90	19 — Gain: Y/N — XX —	0.29 0.36 Status New New New New New New New New New New	Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 02-A10 09-A3	Setback Setback Setback Location NEW BASEMEI	I / Commen NT FLR OR OR
1ST FLOOR PLA 2ND FLOOR PLA 3NOOD 3NOO	RFACES e Area 312 687 24 690 24 813 0 776 0 464 492 541 384	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.089 1.450 0.035 0.102 0.102	Cav. Col R-30 R-1 None R-13 None R-1 None R-1 None R-1 None R-1 None R-1 None R-1 R-13 R-1 R-13 R-1 R-13 R-1 R-13 R-1 R-13 R-1 R-13 R-1	2,142 2,633  Act. 1. Azm. 1.0 0 1.0 270 1.0 90 1.0 90 1.0 180 1.0 180 1.0 90 1.0 180 1.0 90 1.0 180 1.0 180 1.0 90 1.0 180 1.0 90 1.0 180 1.0 90 1.0 90 1.0 90 1.0 90 1.0 90 1.0 90 1.0 90 1.0 90 1.0 90 1.0 0	22,9 25,5 Tilt 22,90 90,90 90,90 90,90 90,22,90 90,90	19 — Gain: Y/N — XX —	0.29 0.36 Status New New New New New New New New New New	Conditioned Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 02-A10 09-A3 09-A3 09-A3 09-A3 09-A3 09-A3	Setback Setback Setback Location NEW BASEMEI NEW 1ST FLOO NEW 2ND FLOO	A Commen
1ST FLOOR PLA 2ND FLOOR Wood Wall Wood Wood Wall Wood Wood	RFACES  Area  312  687  24  690  24  813  0  776  0  464  492  541  384  378  2,633  675	0.035 0.089 1.450 0.089 1.450 0.089 1.450 0.035 0.102 0.102 0.102 0.102 0.035 0.102	Cav. Col R-30. R-1 None R-1 R-13 R-1	2,142 2,633  Act.  Azm.  0,0 0 0,0 270 0,0 90 0,0 90 0,0 180 0,0 180 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90	22,9 25,5 Tilt 22 90 90 90 90 90 90 90 22 90 90	19 — Gain: Y/N XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX	0.29 0.36 Status New New New New New New New New New New	Conditioned Conditioned Conditioned  DI JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 02-A10 09-A3 09-A3 09-A3 09-A3 09-A3 09-A3	Setback Setback Setback  Location NEW BASEMEI NEW 1ST FLOO NEW 1ST FLOO NEW 1ST FLOO NEW 1ST FLOO NEW 2ND FLOO NEW 2ND FLOO	8 I / Commen NT FLR OR OR OR
1ST FLOOR PLA 2ND FLOOR PLA 2N	RFACES  e Area  312  687  24  690  24  813  0  776  0  464  492  541  378  2633  675  759	0.035 0.089 1450 0.089 1450 0.089 1450 0.035 0.102 0.102 0.102 0.102 0.102 0.102 0.102	Cav. Col R-30. R-1 None R-1 R-13 R-1	2,142 2,633  Act.  Azm.  0,0 0 0,0 270 0,0 90 0,0 90 0,0 180 0,0 180 0,0 90 0,0 90 0,0 180 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90 0,0 90	22,9 25,5 Tilt 22 90 90 90 90 90 90 90 22 90 90 90	19 — Gain: Y/N — XX —	0.29 0.36 Status New New New New New New New New New New	Conditioned Conditioned Conditioned  JA IV Referen 02-A10 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 13-F5 28-A1 02-A10 09-A3 09-A3 09-A3 09-A3 09-A3 09-A3 09-A3 09-A3	Selback Selback Selback  Location NEW BASEMEI NEW BASE	8 I / Commen NT FLR OR OR OR OR
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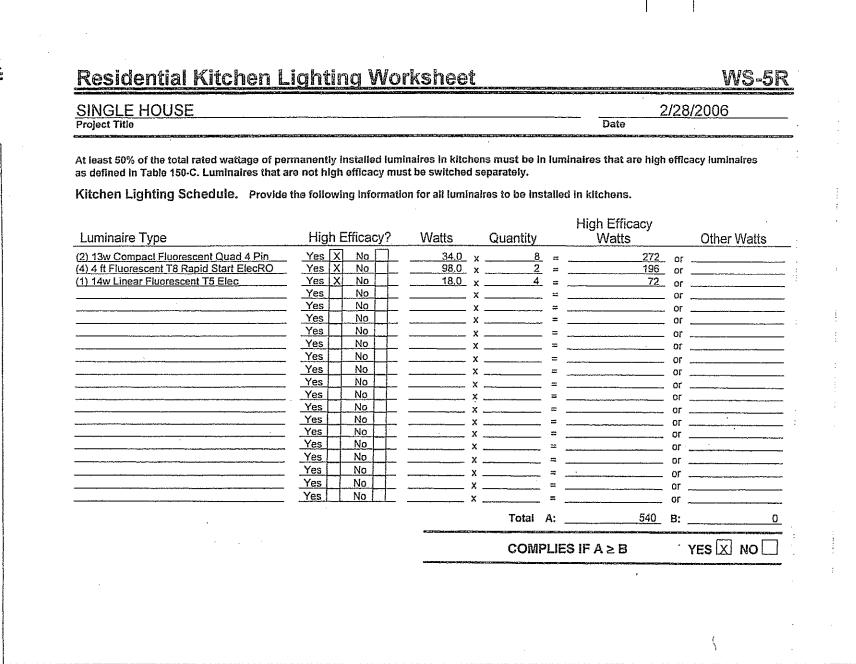
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& MANDATORY REQUIREMENTS





NOTE	Lowrise residential buildings subject to the Standards must contain these measures regardless of the compliance approach use compliance requirements from the Certificate of Compliance supercede the items marked with an asterisk (*) below. When this into the permit documents, the features noted shall be considered by all parties as minimum component performance specifical measures whether they are shown elsewhere in the documents or on this checklist only.	S CHECK	Kiist is incorpor	ated
	Instructions: Check or initial applicable boxes when completed or check N/A if not			
DE	SCRIPTION applicable.	N/A		181
Spa	ce Conditioning, Water Heating and Plumbing System Measures: (cont	.2684.4		
§ 150	(m): Ducts and Fans <ol> <li>All ducts and plenums installed, sealed and insulated to meet the requirements of the CMC Sections 601, 602, 603, 604, 605, and Standard 6-5; supply-air and return-air ducts and plenums are insulated to a minumum installed level of R-4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used.</li> </ol>		X	
	2. Building cavilies, support platforms for alr handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.		X	
	Joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive		[x]	
	duct tapes unless such tape is used in combination with mastic and draw bands.	[X]		
	Exhaust fan systems have back draft or automatic dampers.			
	<ol><li>Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operating dampers.</li></ol>		لكا	
	6. Protection of Insulation. Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Cellular foam Insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation that can cause degradation of the material.		X	
	7. Flexible ducts cannot have porous inner cores.		X	
§ 11	: Pool and Spa Heating Systems and Equipment			
	<ol> <li>A thermal efficiency that complies with the Appliance Efficiency Regulations, on-off switch mounted outside of the heater, weatherproof operating instructions, no electric resistance heating and no pilot light.</li> </ol>		X	
	2. System is installed with:	$\mathbf{x}$		
	a. At least 36" of pipe between filter and heater for future solar heating.	$\mathbf{X}$	n	
	b. Cover for outdoor pools or outdoor spas.  3. Pool system has directional inlets and a circulation pump time switch.		[X]	
§ 11:	Gas fired fan-type central furnaces, pool heaters, spa heaters or household cooking appliances have no continuously burning pilot light. (Exception: Non-electrical cooking appliances with pilot < 150 Btu/hr)		$\mathbf{x}$	
		$\mathbf{X}$	П	
1 -	(i): Cool Roof material meets specified criteria	120	🔾	
<b>L</b>   <b>Q</b>   § 15	hting Measures  (k)1: HIGH EFFICACY LUMINAIRES OTHER THAN OUTDOOR HID: contain only high efficacy lamps as outlined in Table 150-C, and do not contain a medium screw base socket (E24/E26). Ballasts for lamps 13 Watts or greater are electric and have an output frequency no less than 20 kHz.		$\square$	
§ 15	(bit- HIGH EFFICACY LUMINAIRES - OUTDOOR HID: contain only high efficacy lamps as outlined in Table 150-C,		X	ENFORESIGNER MENTON
§ 15	luminaire has factory installed HID ballast.  (k)2: Permanently installed luminaires in kitchens shall be high efficacy luminaires. Up to 50% of the Wattage, as determined in Section 130(c), of permanently installed luminaires in kitchens may be in luminaires that are not high efficacy luminaires.		X	
§ 15	provided that these luminaires are controlled by switches separate from those controlling the high efficacy luminaires.  (k)3: Permanently Installed luminaires are controlled by switches separate from those controlling the high efficacy luminaires.  OR are controlled by an occupant sensor(s) ceritied to comply with Section 119(d).		X	
§ 15	(k)4: Permanently Installed luminaires tocated other than in kichens, bathrooms, garages, laundry rooms, and utility rooms shall be high efficacy luminaires (except closets less than 70 ti) OR are controlled by a dimmer switch OR are controlled by an occupant sensor that complies with Section 419(d) that does not turn on automatically or have an		X	
§ 15	always on option.  (k)5: Luminaires that are recessed into insulated ceilings are approved for zero clearance insulation cover (IC) and are certified to ASTM E283 and labeled as air tight (AT) to less than 2,0 CFM at 75 Pascals.		X	
§ 15	(k)6: Luminaires providing outdoor lighting and permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy luminaires (not including lighting around swimming pools/water features or other Article 680 locations) OR are controlled by occupant sensors with integral photo control certified to comply with Section 119(d).		X	
§ 15	(k)7: Lighting for parking lots for 8 or more vehicles shall have lighting that complies with Sections 130, 132, and 147. Lighting for parking garages for 8 or more vehicles shall have lighting that complies with Section 130, 131, and 146.	X		
	(k)8: Permanently Installed lighting in the enclosed, non-dwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires OR are controlled by occupant sensor(s) certified to comply with Section	X		

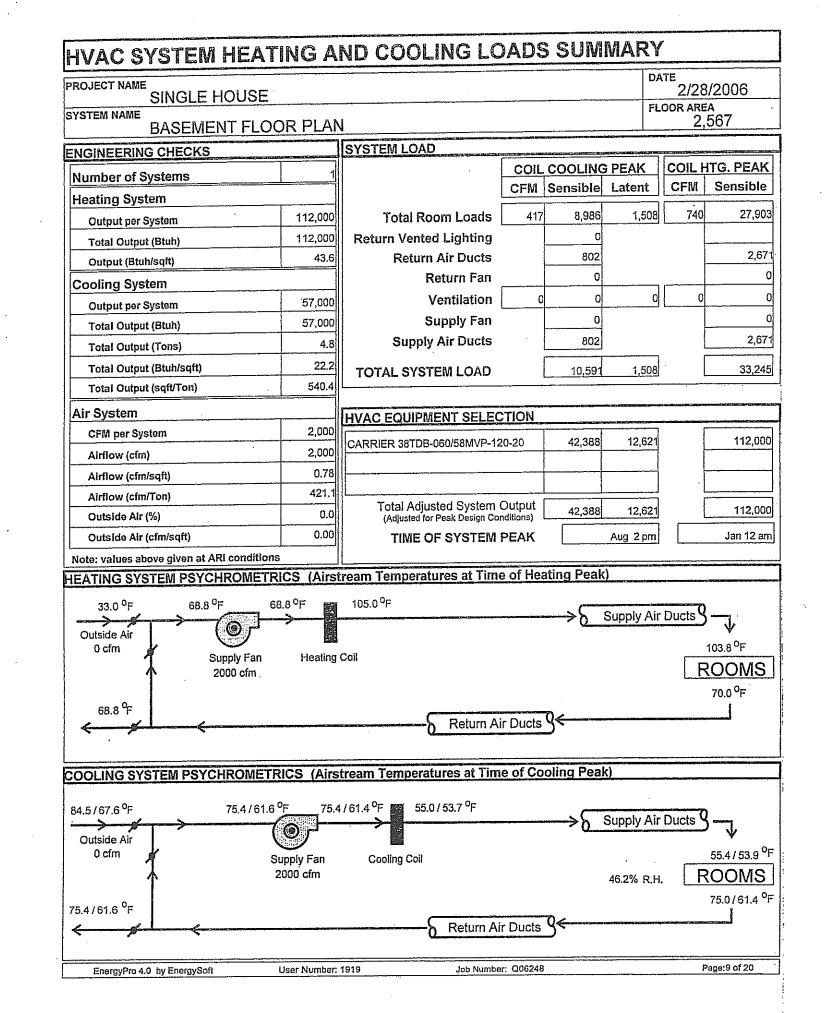


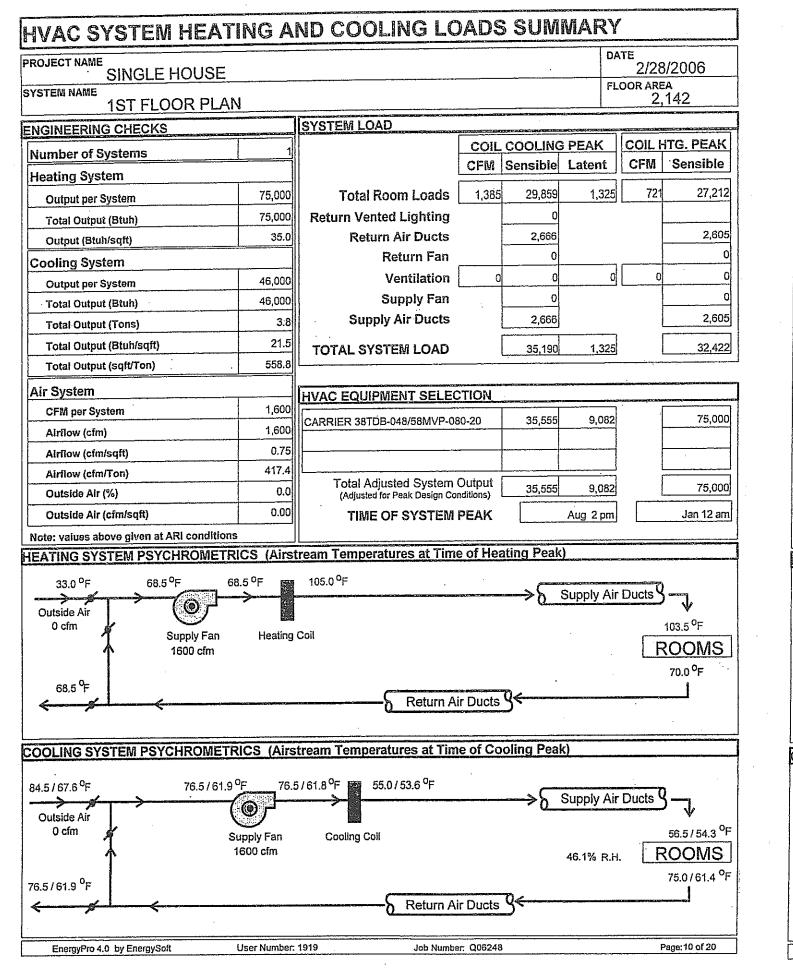
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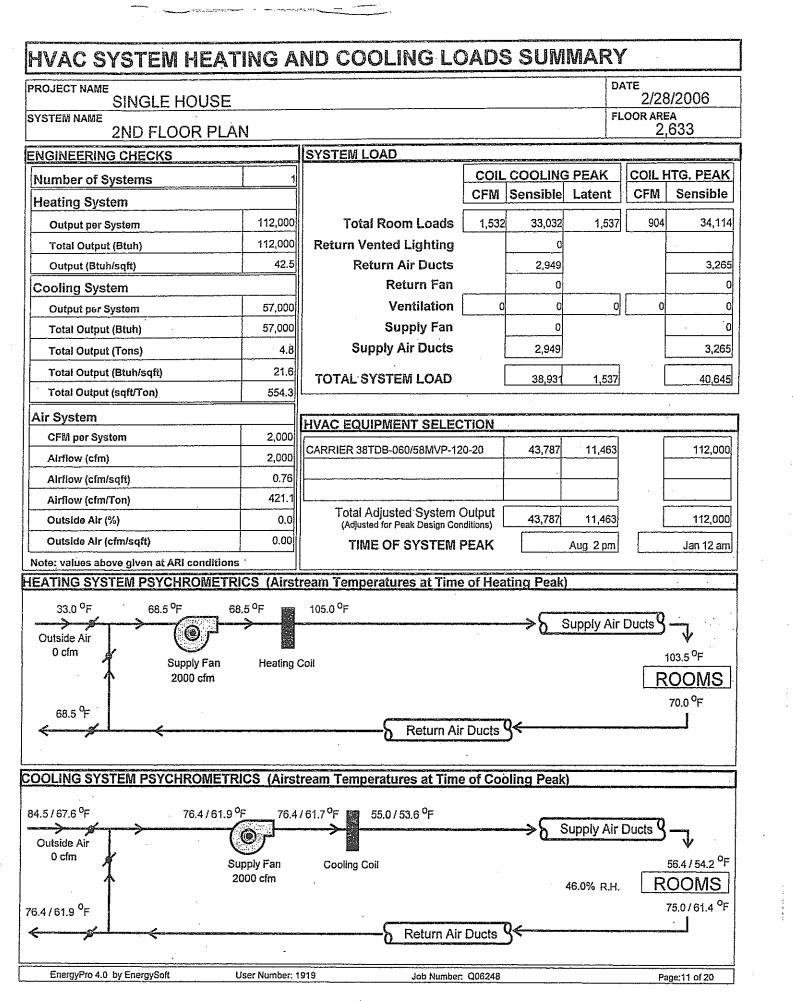
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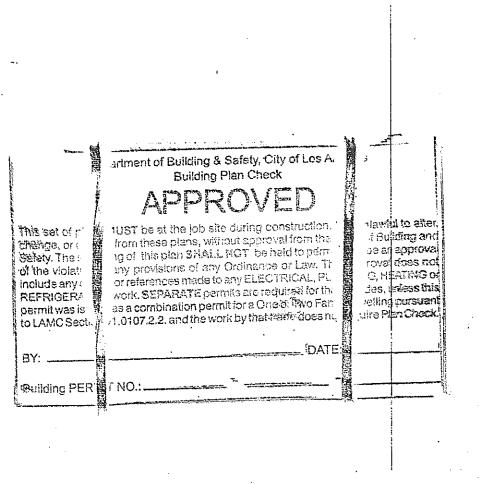
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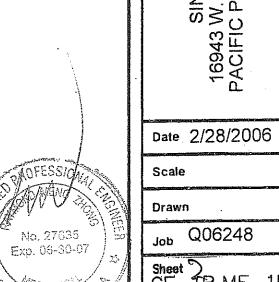




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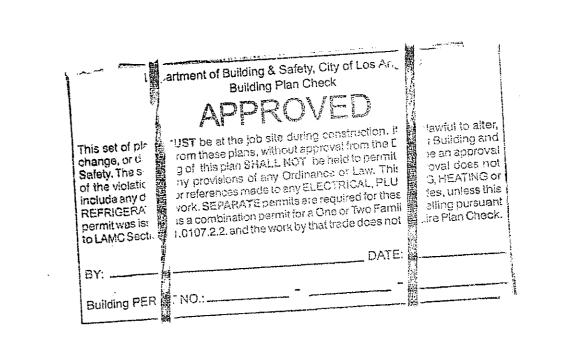
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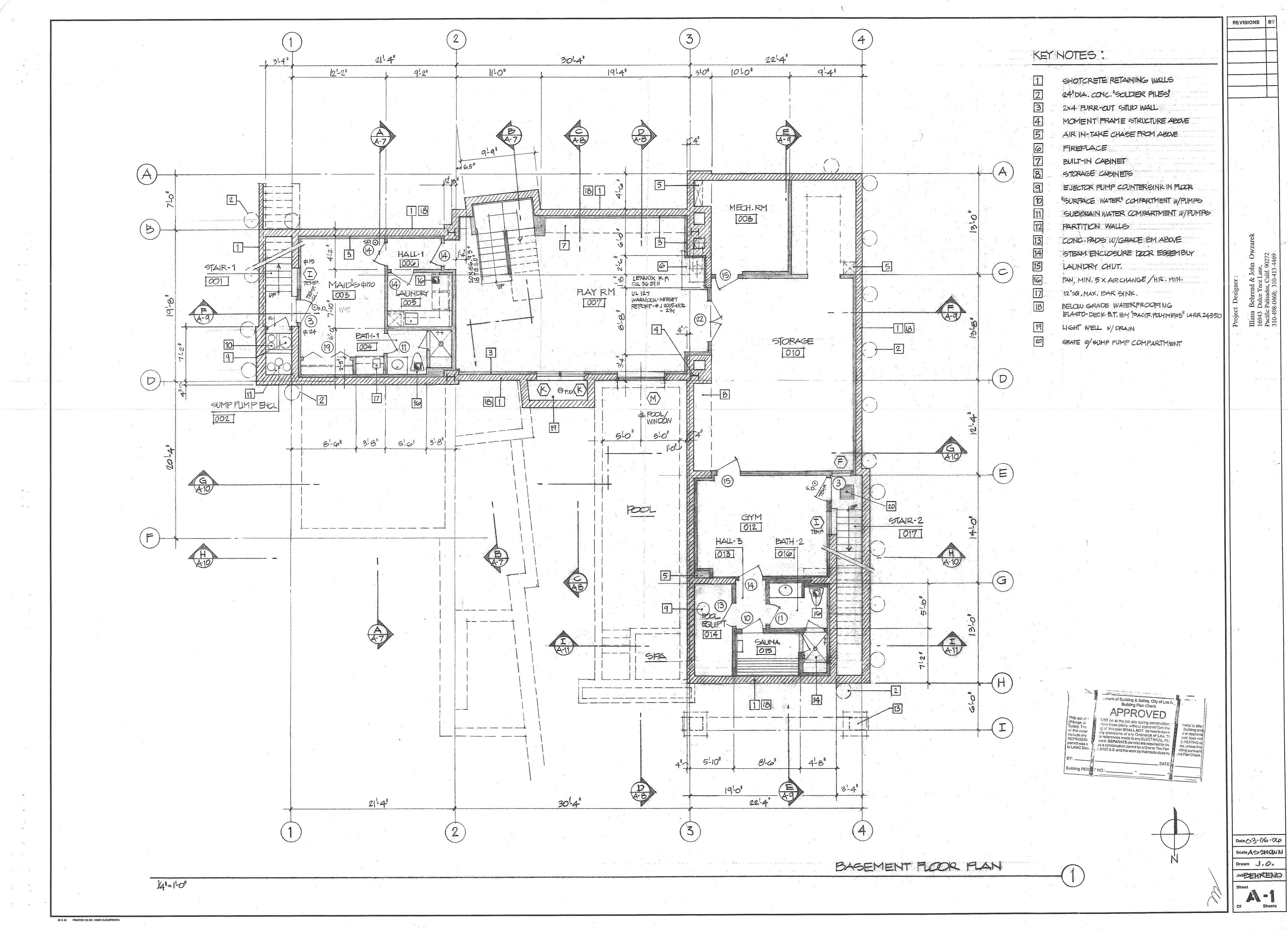
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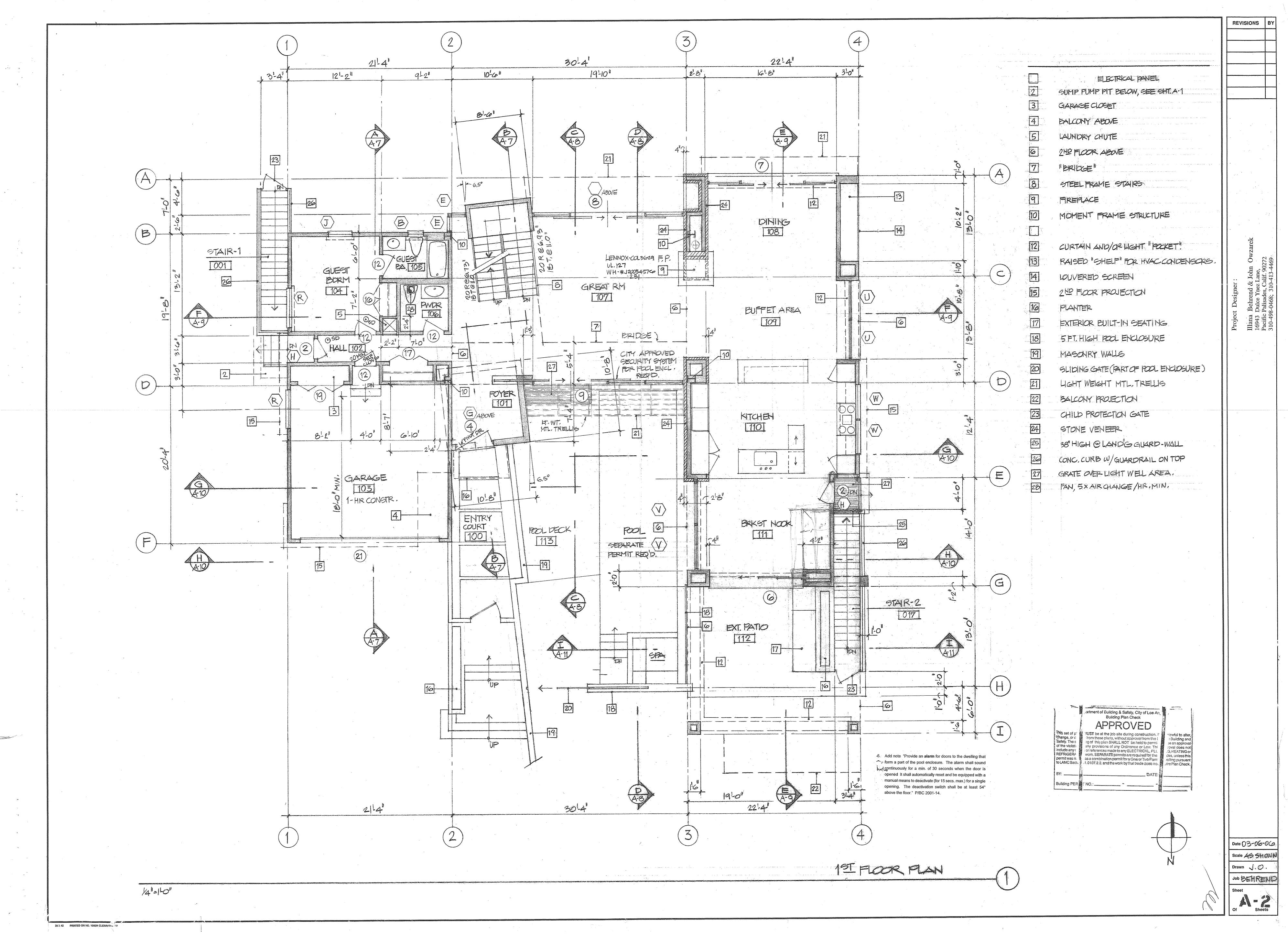
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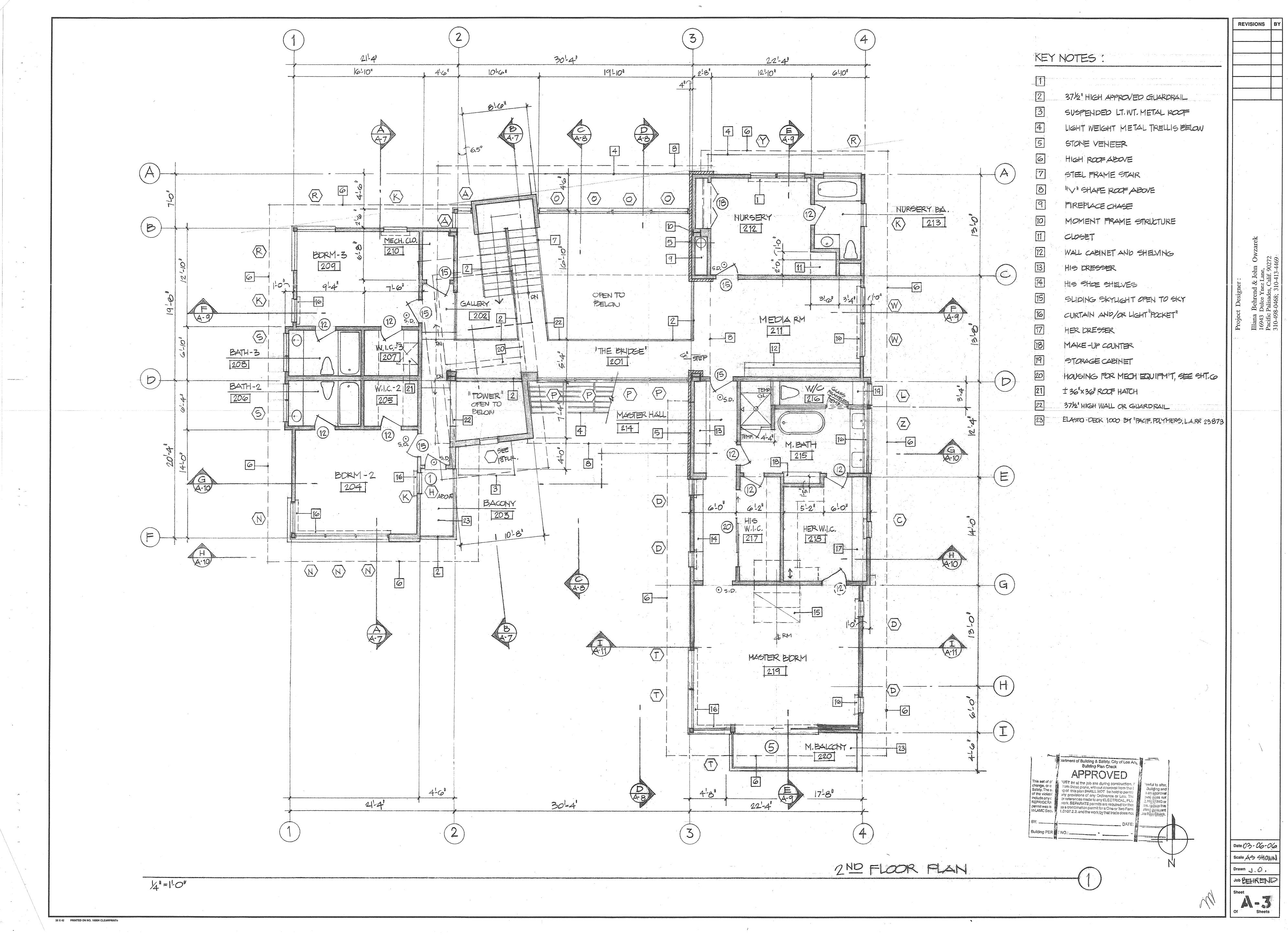


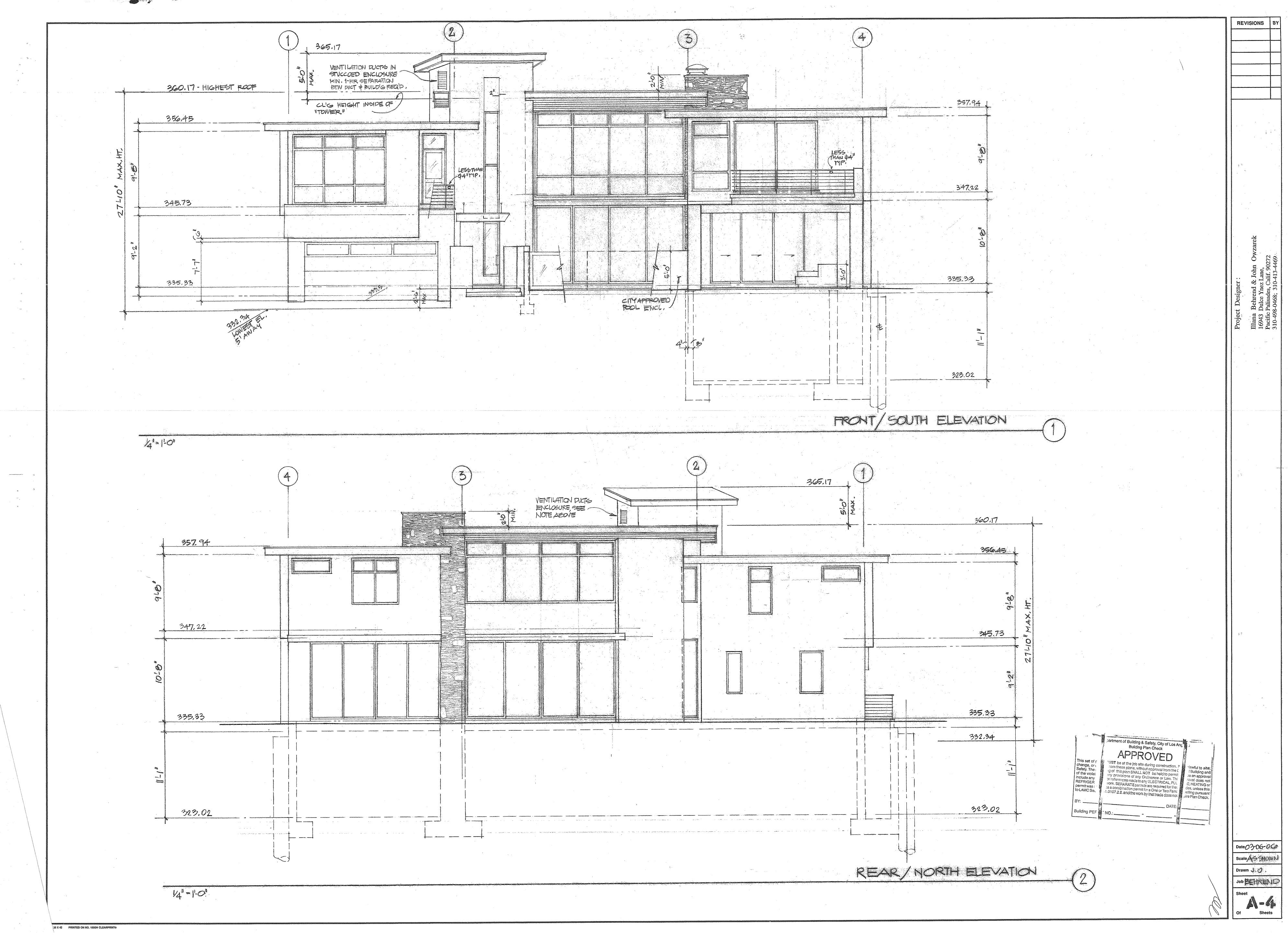
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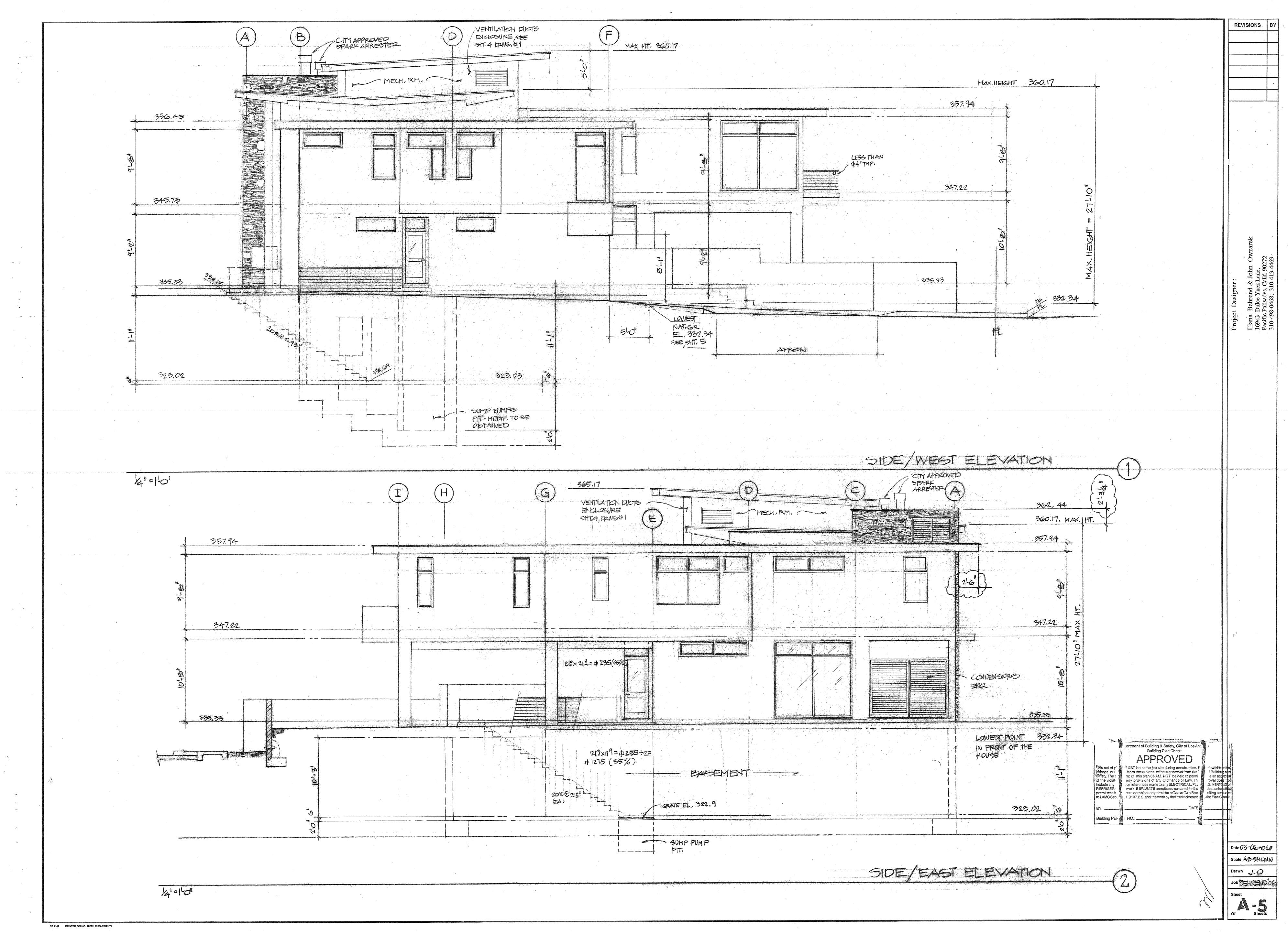
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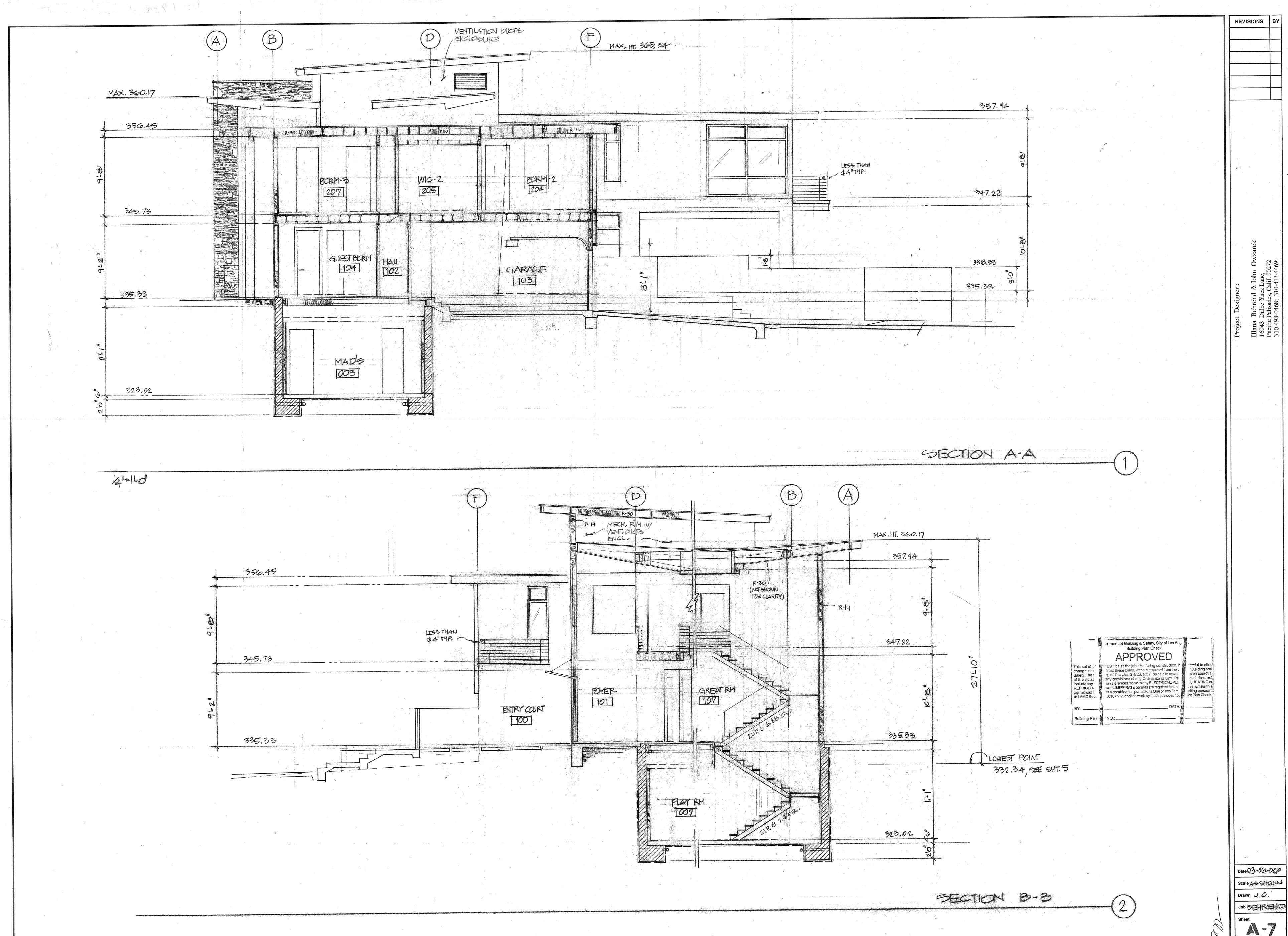


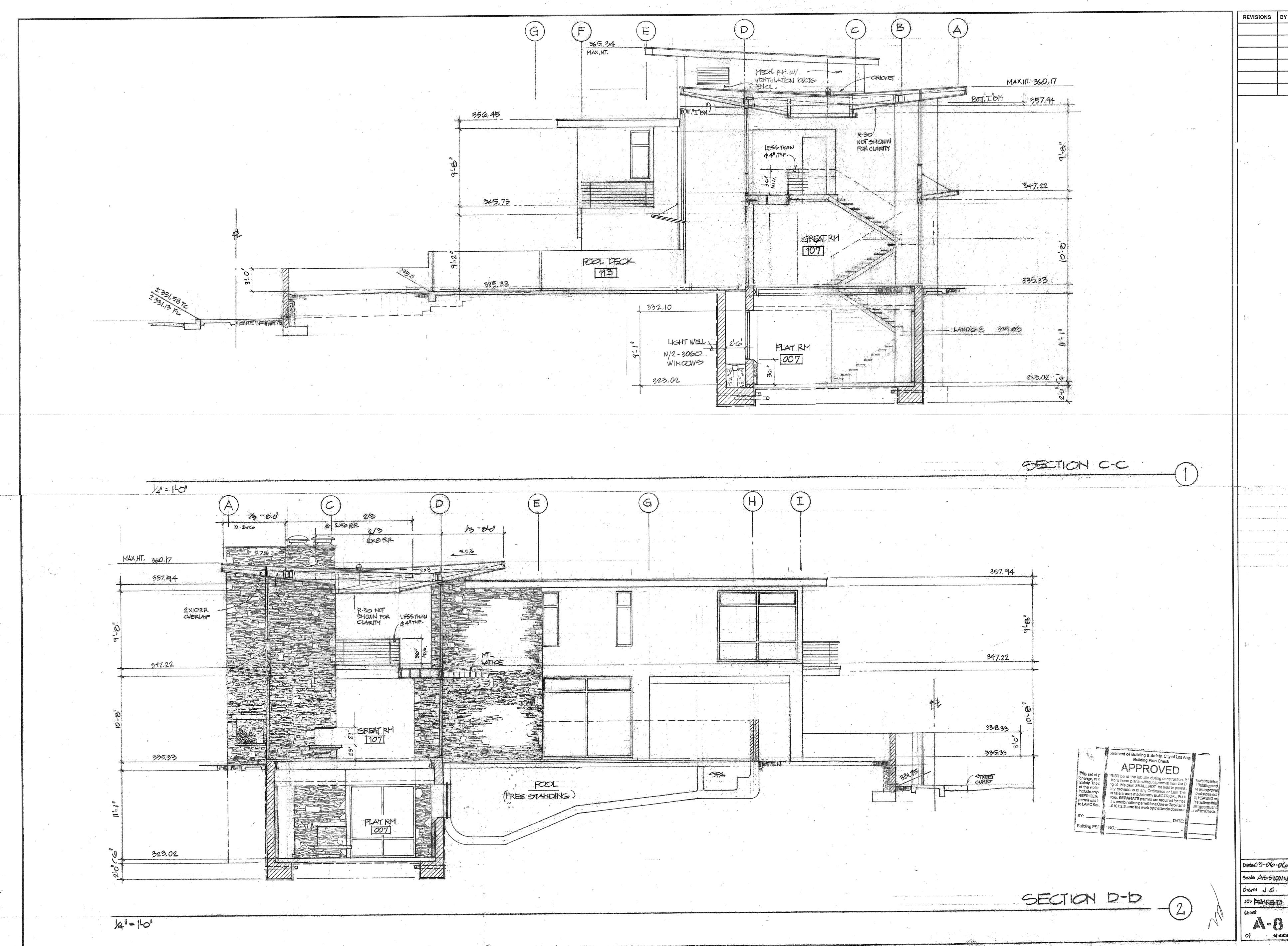




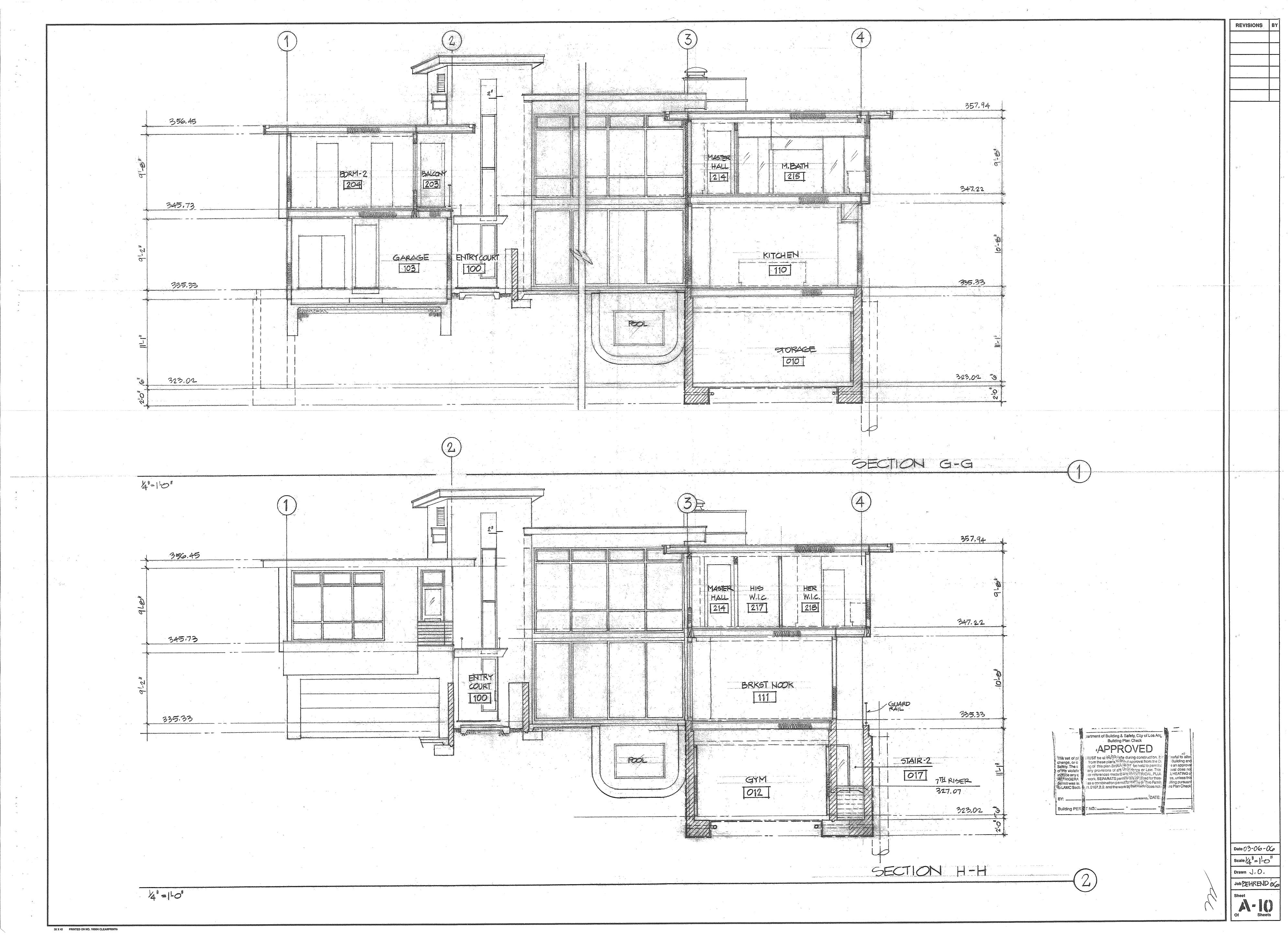


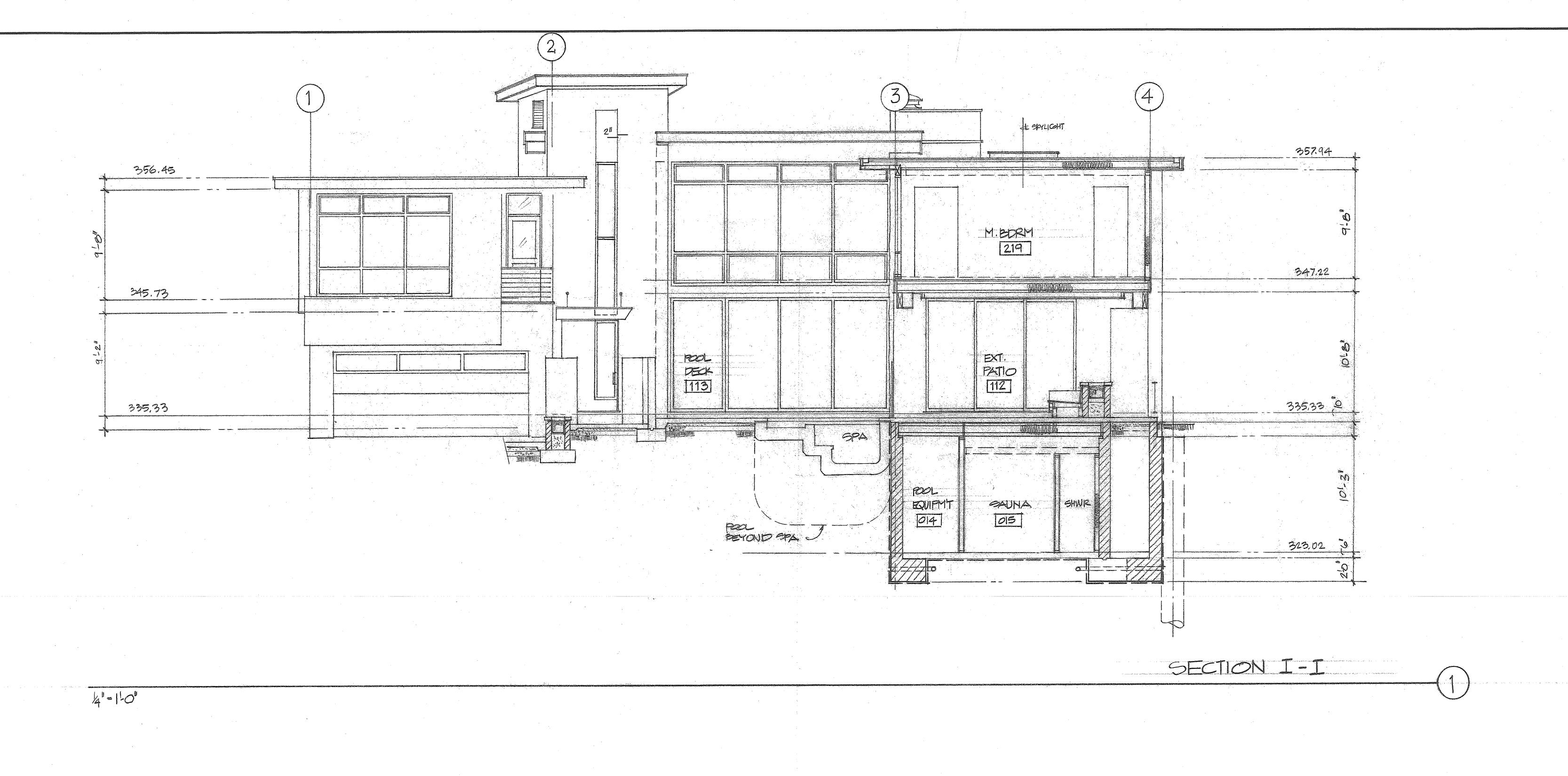






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